



SOUTHL≡NE

SPECIFIC PLAN SUBMITTAL PACKAGE + DESIGN GUIDELINES

01.25.19

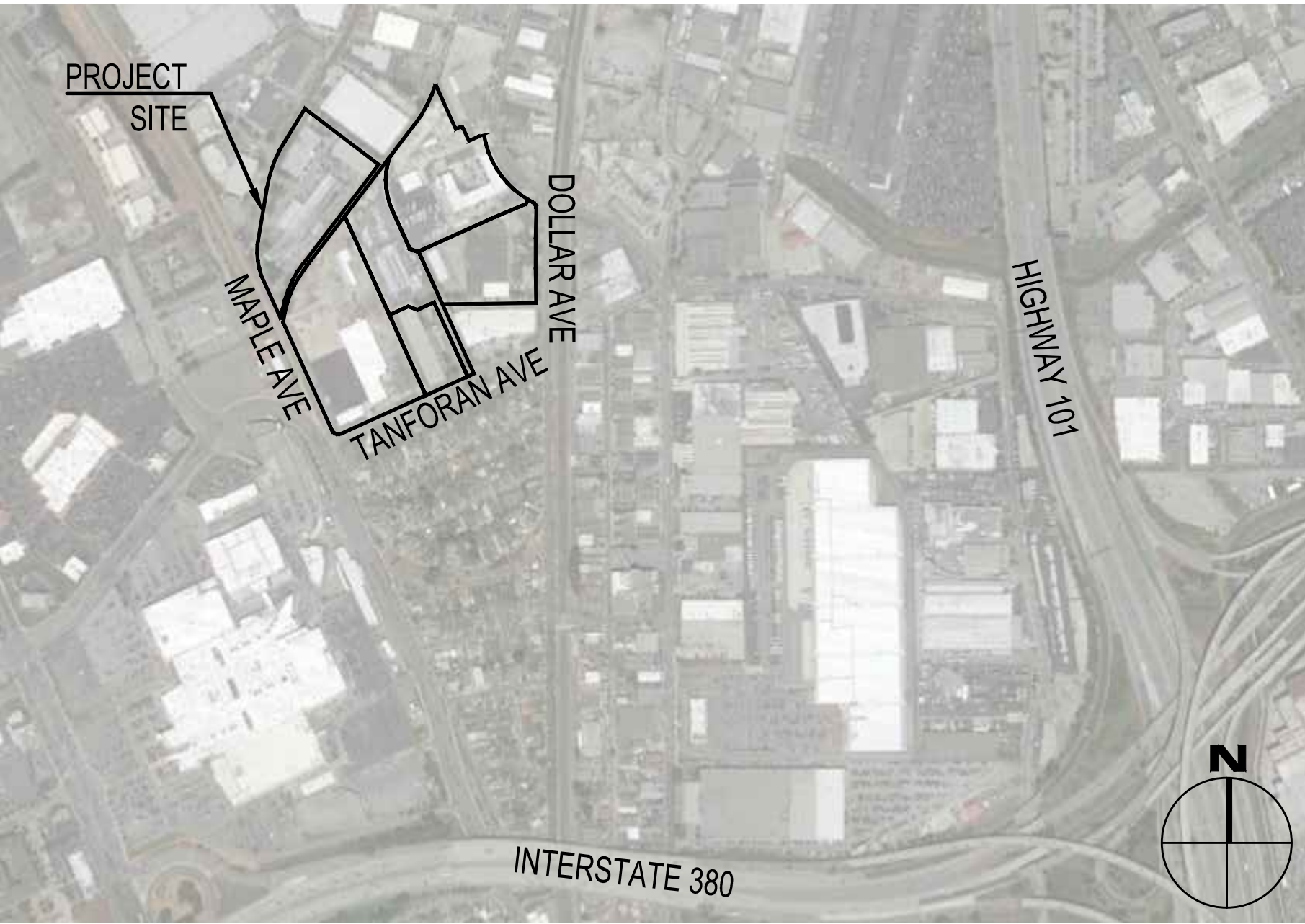
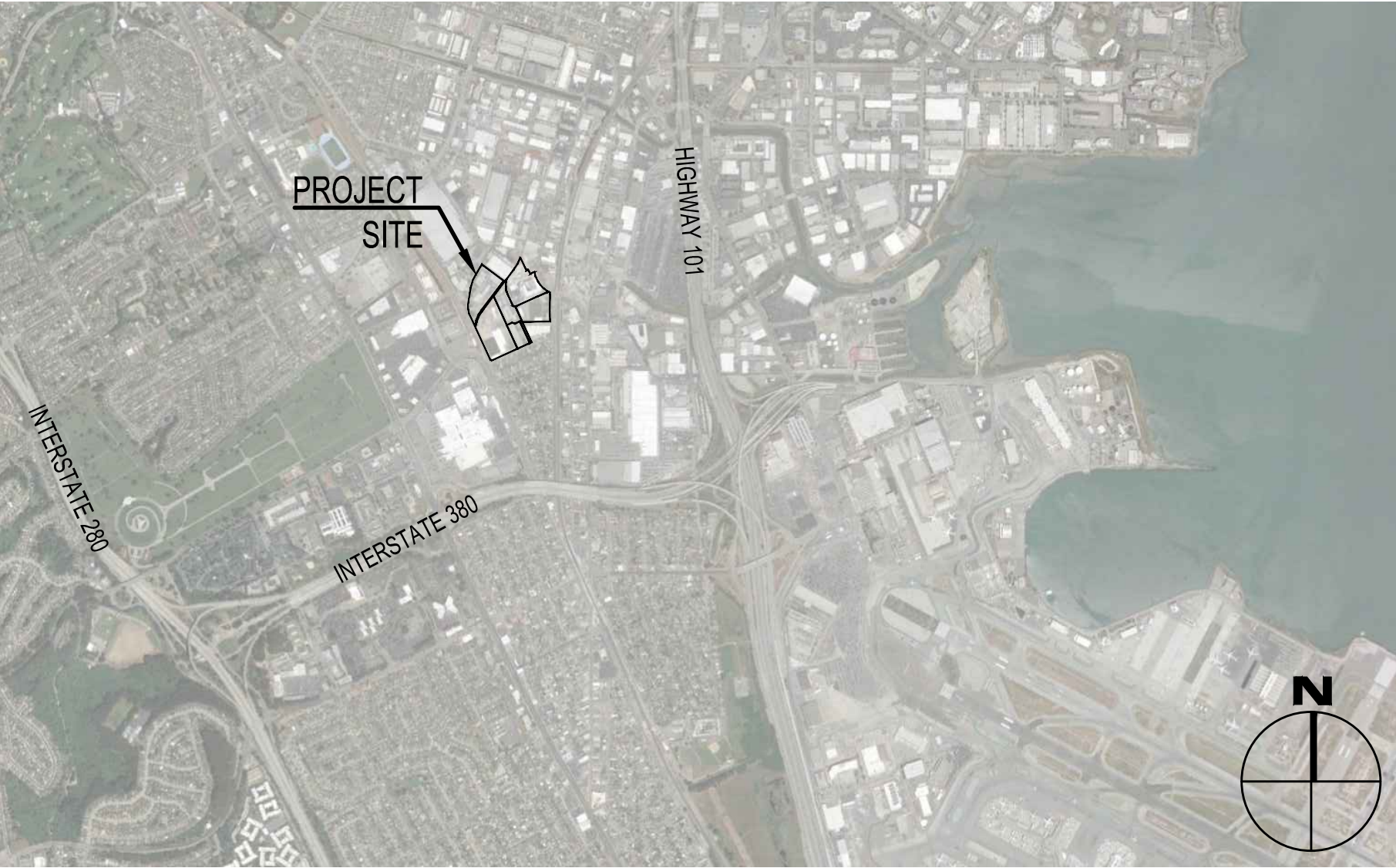
REVISED 11.01.19

DES
ARCHITECTS
ENGINEERS

LANE PARTNERS

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VICINITY MAPS



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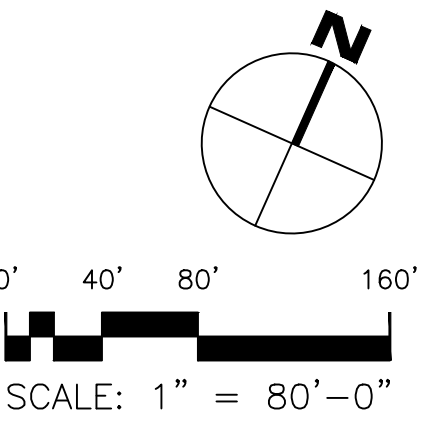
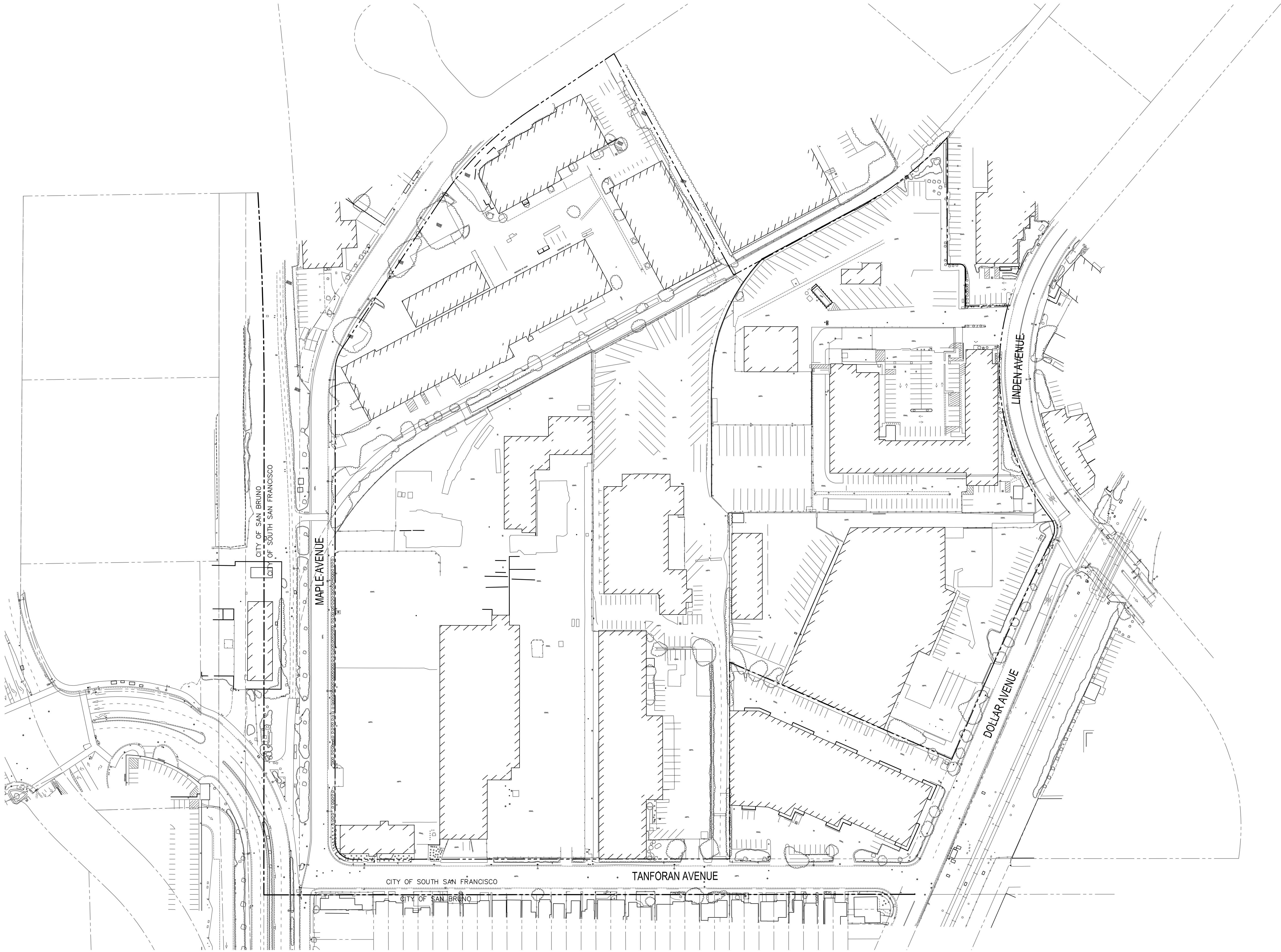
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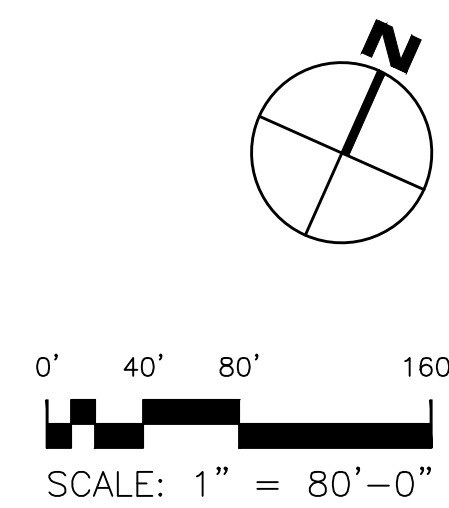
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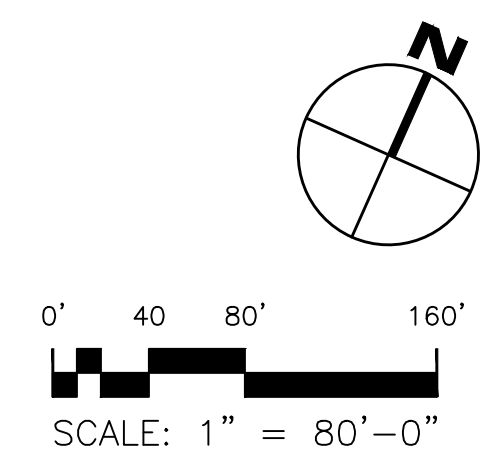
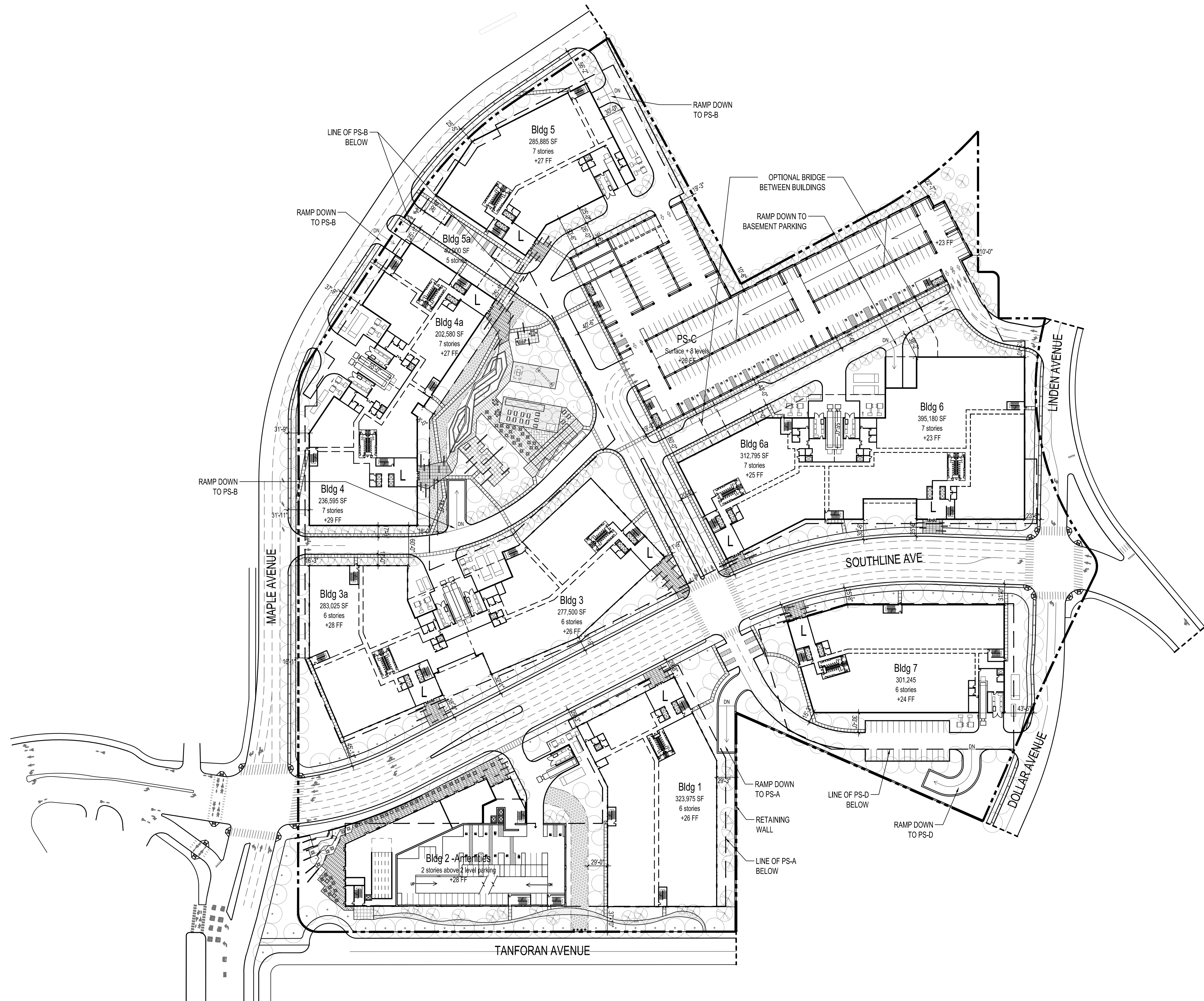
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OFFICE OPTION - PROJECT DATA

| | | | |
|----|--|--|------------------------|
| A. | ZONING DESIGNATION | BUSINESS AND PROFESSIONAL OFFICES (BPO) | |
| B. | PARCEL NO. | MULTIPLE PARCELS: SEE SHEET A2.0 - PARCEL MAP SITE PLAN. | |
| C. | SITE AREA | 1,157,800 SQFT (26.5 ACRES) | |
| D. | PROPOSED USE | OFFICE/ RETAIL/ FITNESS/ EVENT SPACE | |
| E. | PROPOSED FAR | 2.37 | |
| F. | BUILDING AREA | NO. OF STORIES | GROSS BUILDING AREA |
| | BUILDING 1: | 6 | 323,975 SF |
| | BUILDING 3: | 6 | 277,500 SF |
| | BUILDING 3a: | 6 | 283,025 SF |
| | BUILDING 4: | 7 | 236,595 SF |
| | BUILDING 4A: | 7 | 202,580 SF |
| | BUILDING 5: | 7 | 285,885 SF |
| | BUILDING 5A: | 5 | 40,000 SF |
| | BUILDING 6: | 7 | 395,180 SF |
| | BUILDING 6A: | 7 | 312,795 SF |
| | BUILDING 7: | 6 | 301,245 SF |
| | OFFICE BUILDINGS TOTAL | | 2,658,780 SF |
| | BUILDING 2 | | |
| | RETAIL: | 1 | 16,400 SF |
| | FITNESS/EVENT: | 2 | 71,800 SF |
| | AMENITIES BUILDING TOTAL | | 88,200 SF |
| | TOTAL BUILDING AREA | | 2,746,980 SF |
| G. | LOT COVERAGE | 0.48 | |
| | | BUILDING FOOTPRINT | SERVICE AREA FOOTPRINT |
| | BUILDING 1: | 54,170 SF | 2,650 SF |
| | BUILDING 2/PS-A: | 49,575 SF | - |
| | BUILDING 3/3A: | 89,930 SF | 2,550 SF |
| | BUILDING 4/4A: | 62,810 SF | 2,700 SF |
| | BUILDING 5/5A: | 41,450 SF | 1,300 SF |
| | BUILDING 6/6A: | 94,790 SF | 2,400 SF |
| | BUILDING 7: | 50,495 SF | 1,200 SF |
| | PS-C: | 100,475 SF | - |
| | TOTAL: | 534,695 SF | 12,800 SF |
| H. | OPEN SPACE | 369,000 SF (31.8%) | |
| I. | BUILDING HEIGHT | | |
| | BUILDING 1: | 101'-0", TO TOP OF MECHANICAL ROOF SCREEN (6 STORIES) | |
| | BUILDING 2/PS-A: | 71'-0", TO TOP OF MECHANICAL ROOF SCREEN (4 STORIES) | |
| | BUILDING 3, 3A: | 101'-0", TO TOP OF MECHANICAL ROOF SCREEN (6 STORIES) | |
| | BUILDING 4, 4A: | 115'-0", TO TOP OF MECHANICAL ROOF SCREEN (7 STORIES) | |
| | BUILDING 5: | 115'-0", TO TOP OF MECHANICAL ROOF SCREEN (7 STORIES) | |
| | BUILDING 5A: | 74'-0", TO TOP OF PARAPET, STARTING AT 30'-0" ABOVE GROUND (5 STORIES) | |
| | BUILDING 6, 6A: | 115'-0", TO TOP OF MECHANICAL ROOF SCREEN (7 STORIES) | |
| | BUILDING 7: | 101'-0", TO TOP OF MECHANICAL ROOF SCREEN (6 STORIES) | |
| | PS-C: | 95'-0", TO TOP OF ELEVATOR TOWER (9 STORIES) | |
| J. | PARKING RATIO PROVIDED | | |
| | OFFICE: | 2,658,780 SF | 5,823 STALLS |
| | (2.19 STALLS / 1000 SF) | | |
| | RETAIL: | 16,400 SF | 55 STALLS |
| | (3.3 STALLS / 1000 SF) | | |
| | TOTAL: | | 5,878 STALLS |
| | (EVENT AND FITNESS SPACE IS INTENDED FOR TENANT USE ONLY THEREFORE NO ADDITIONAL PARKING PROVIDED) | | |
| K. | PARKING PROVIDED | | |
| | PARKING STRUCTURE A | (2B, S+I): | 590 STALLS |
| | PARKING STRUCTURE B | (2B): | 2,502 STALLS |
| | PARKING STRUCTURE C | (S+8): | 2,410 STALLS |
| | PARKING STRUCTURE D | (2B): | 336 STALLS |
| | SURFACE PARKING | | 40 STALLS |
| | TOTAL: | | 5,878 STALLS |
| | PARKING STALL DIMENSIONS | | |
| | STANDARD PARKING: | 8'-6" X 18'-0" | 5,787 STALLS |
| | ADA PARKING: | 9'-0" X 18'-0" | 91 STALLS |
| | EV READY PARKING | | 353 STALLS |
| | (6% OF PROVIDED PARKING) | | |
| | CLEAN AIR/VANPOOL/EV STRIPING | | 471 STALLS |
| | (INCL. EV READY PARKING) | | |
| L. | BIKE PARKING | | |
| | SHORT TERM | 24 BIKES | |
| | LONG TERM | 294 BIKES (5% OF PARKING PROVIDED) | |

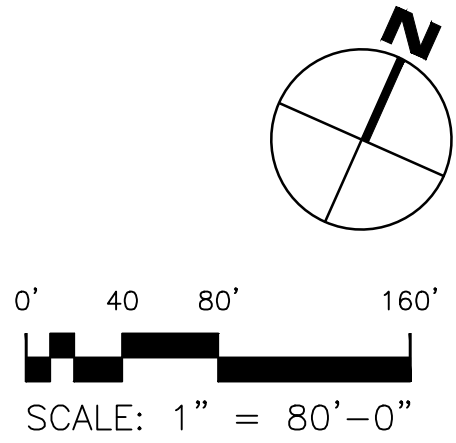
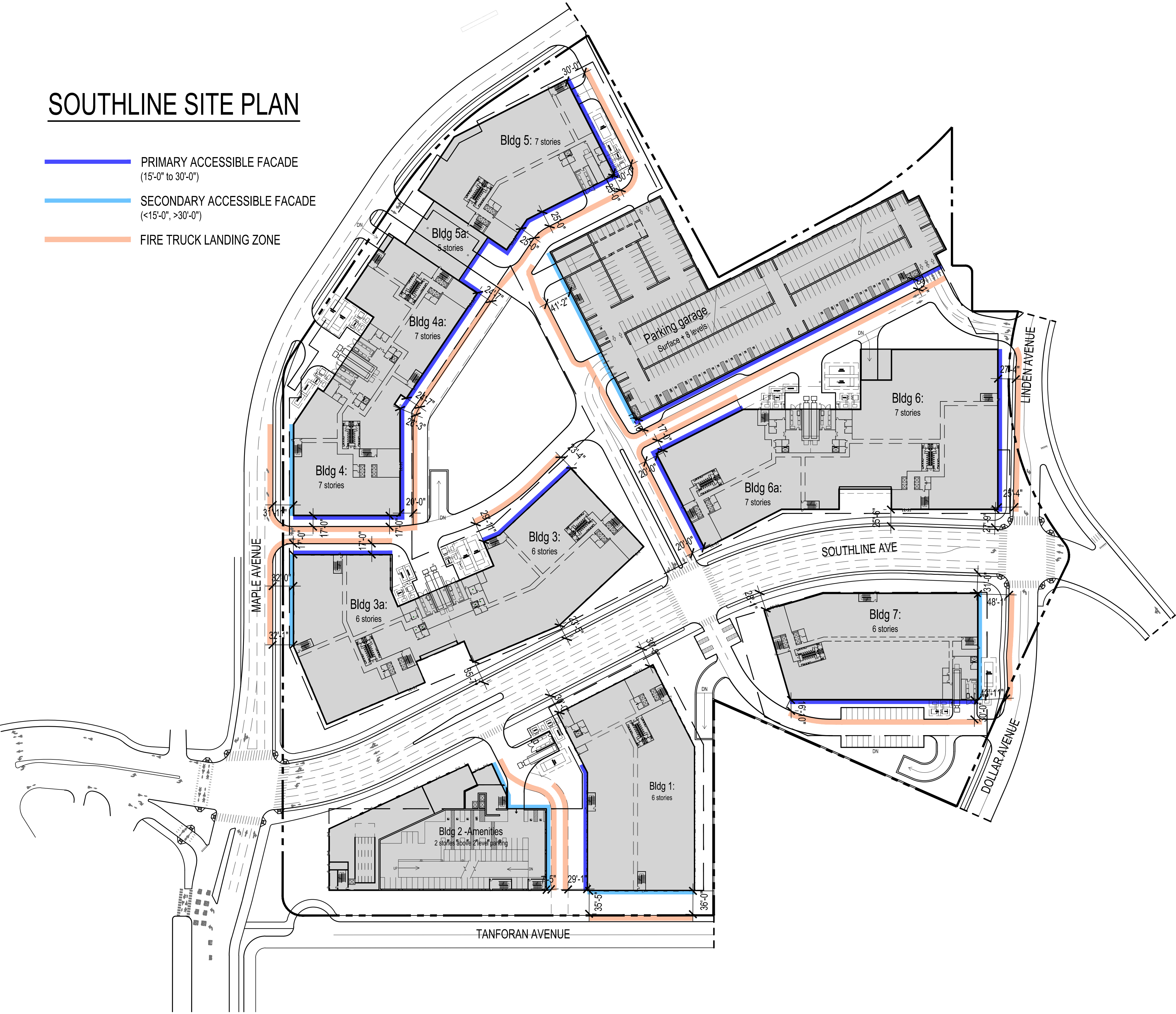


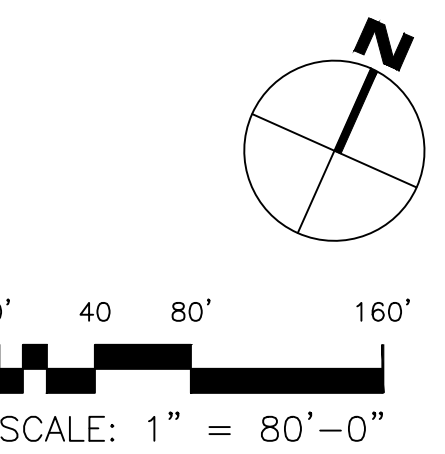
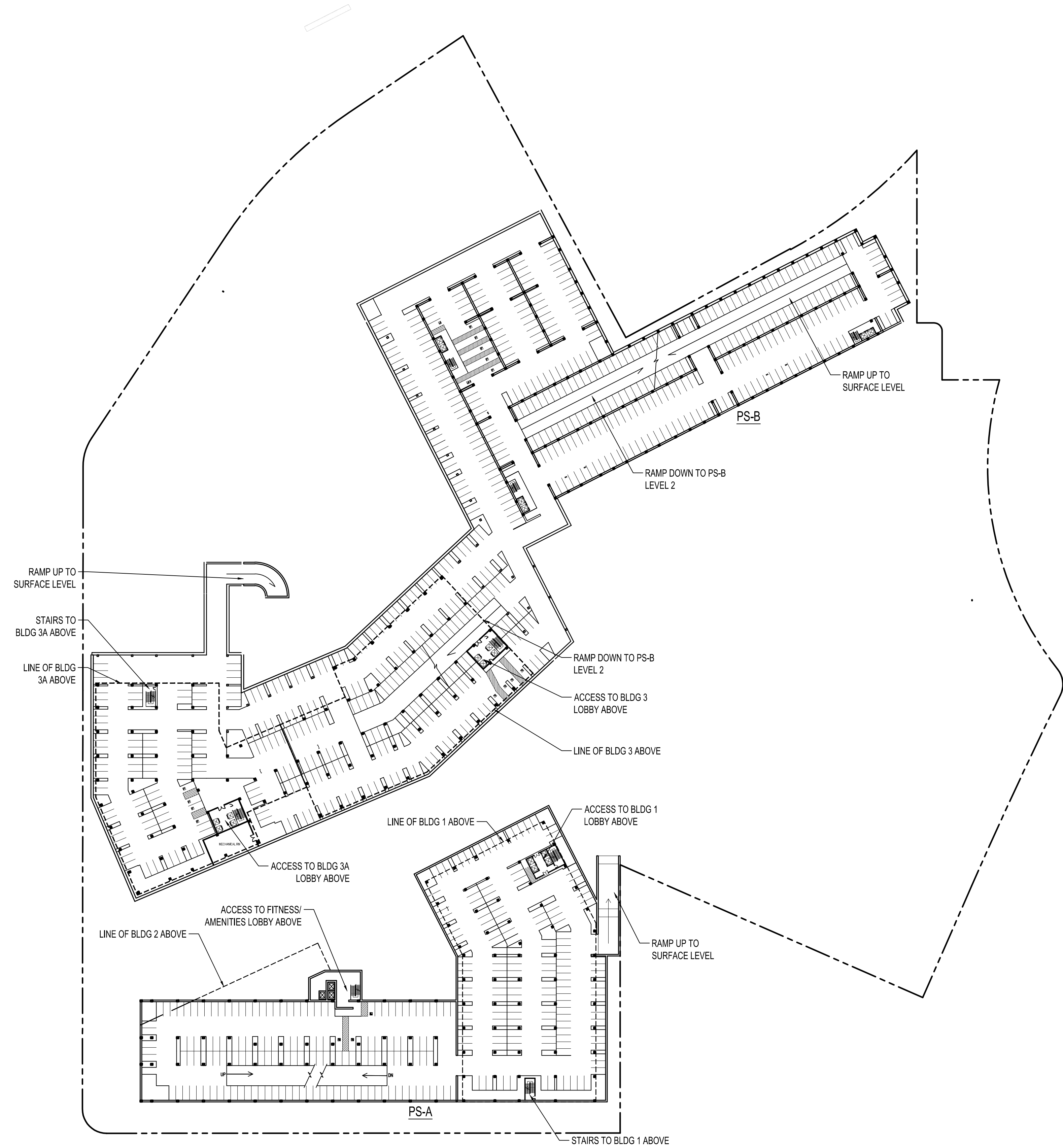


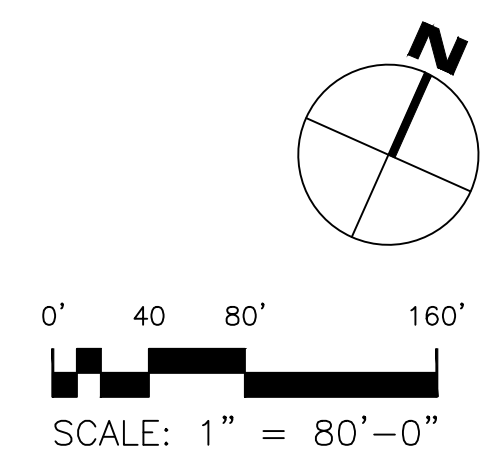
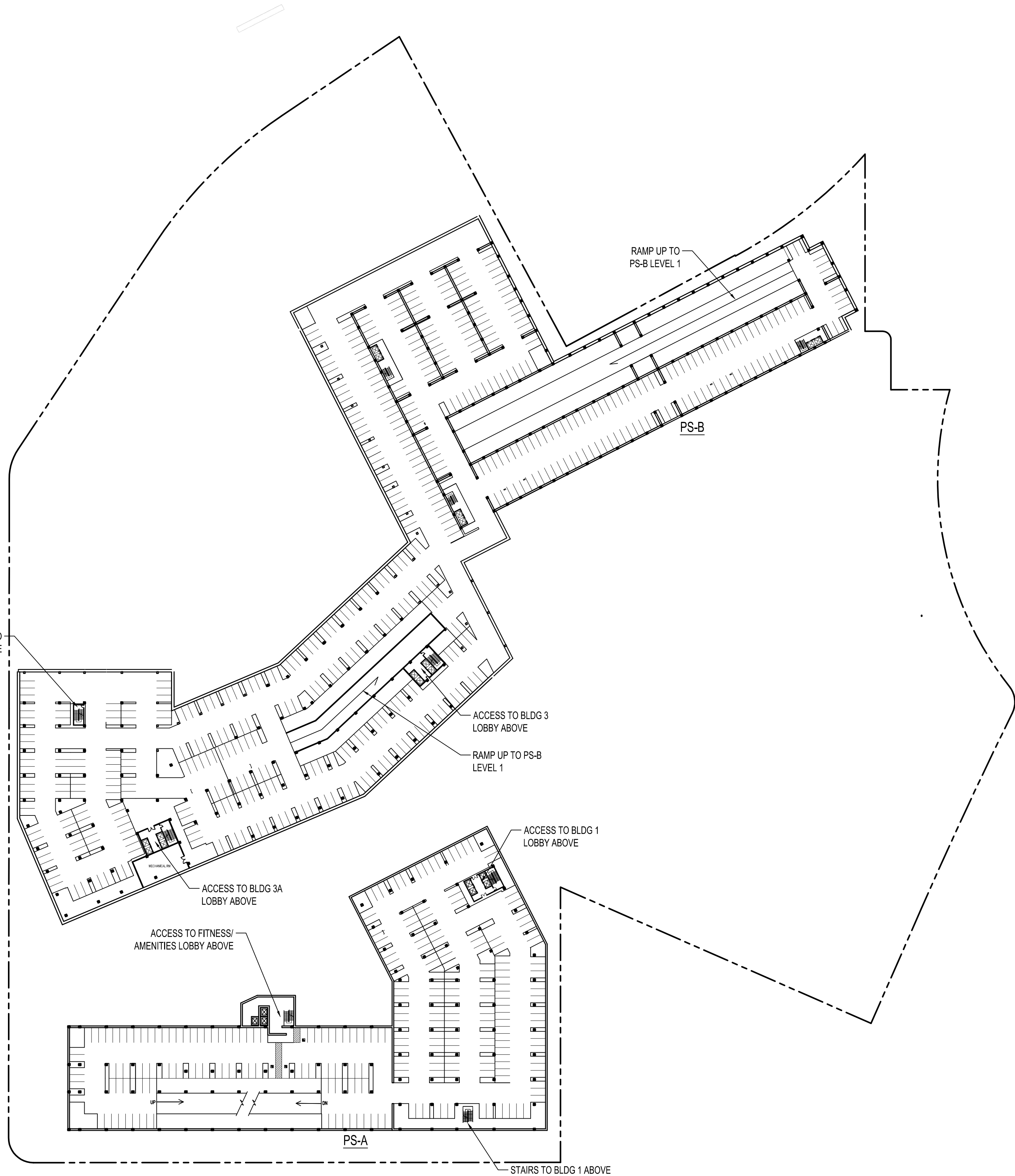


SOUTHLINE SITE PLAN

- PRIMARY ACCESSIBLE FACADE
(15'-0" to 30'-0")
- SECONDARY ACCESSIBLE FACADE
(<15'-0", >30'-0")
- FIRE TRUCK LANDING ZONE







PROJECT DATA - PHASE 2

| | |
|---------------|------------------------|
| SITE AREA | 1,157,800 SF (26.5 AC) |
| BUILDING AREA | 1,737,760 SF |

| | |
|-------------|-----------------------|
| PHASE 1: | |
| BUILDING 1 | 323,975 SF |
| BUILDING 2 | 88,200 SF (amenities) |
| BUILDING 3 | 277,500 SF |
| BUILDING 3A | 283,025 SF |
| TOTAL | 972,200 SF |

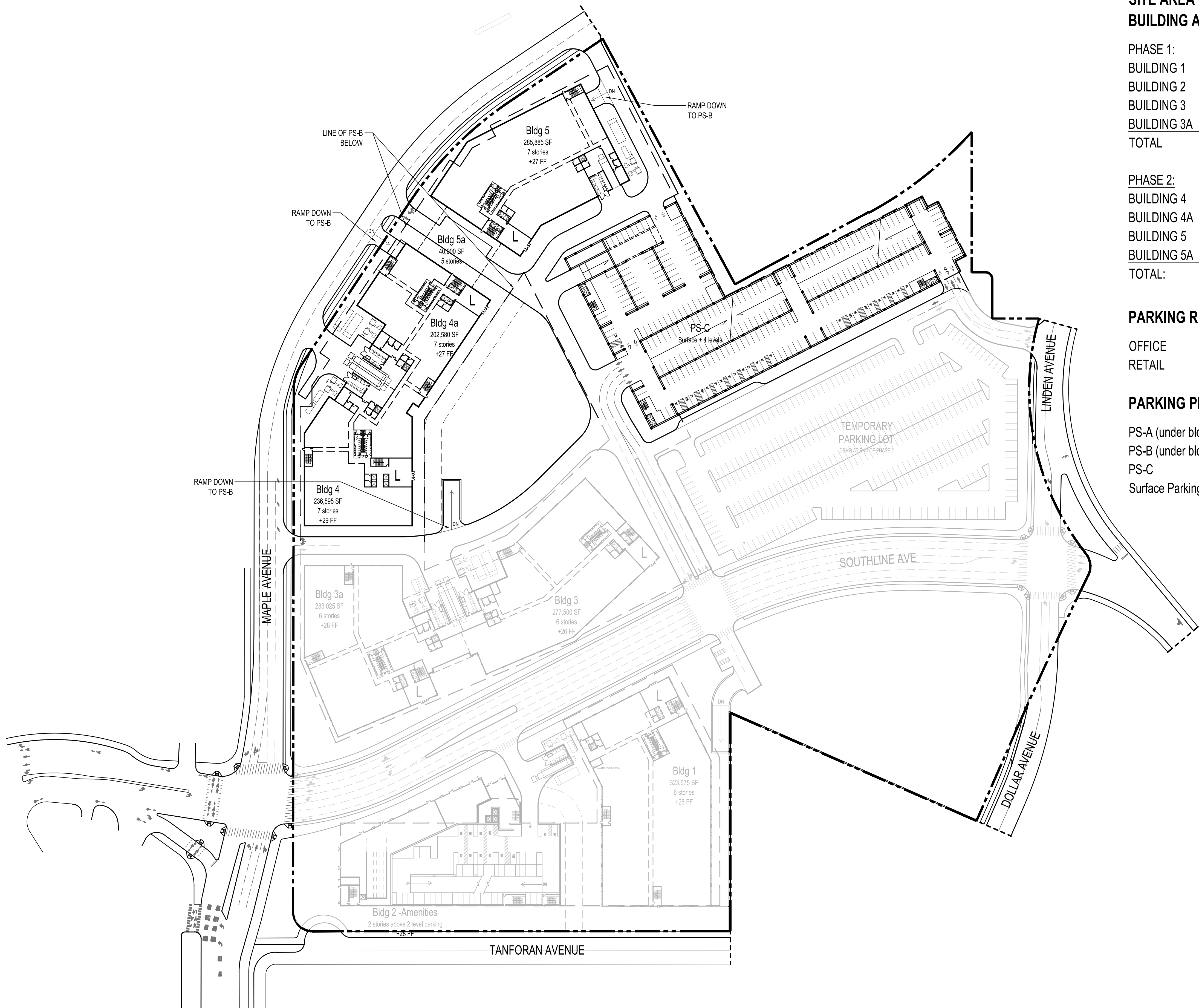
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|-------------|------------|
| PHASE 2: | |
| BUILDING 4 | 236,595 SF |
| BUILDING 4A | 202,580 SF |
| BUILDING 5 | 285,885 SF |
| BUILDING 5A | 40,000 SF |
| TOTAL: | 765,060 SF |

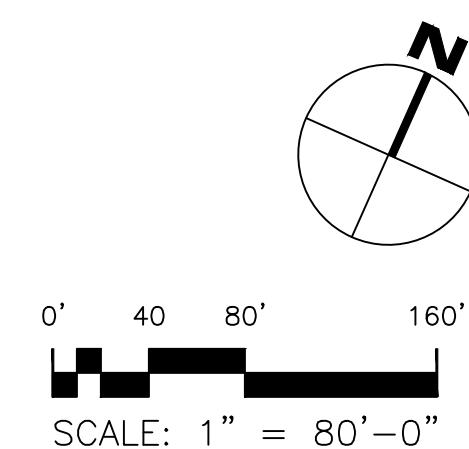
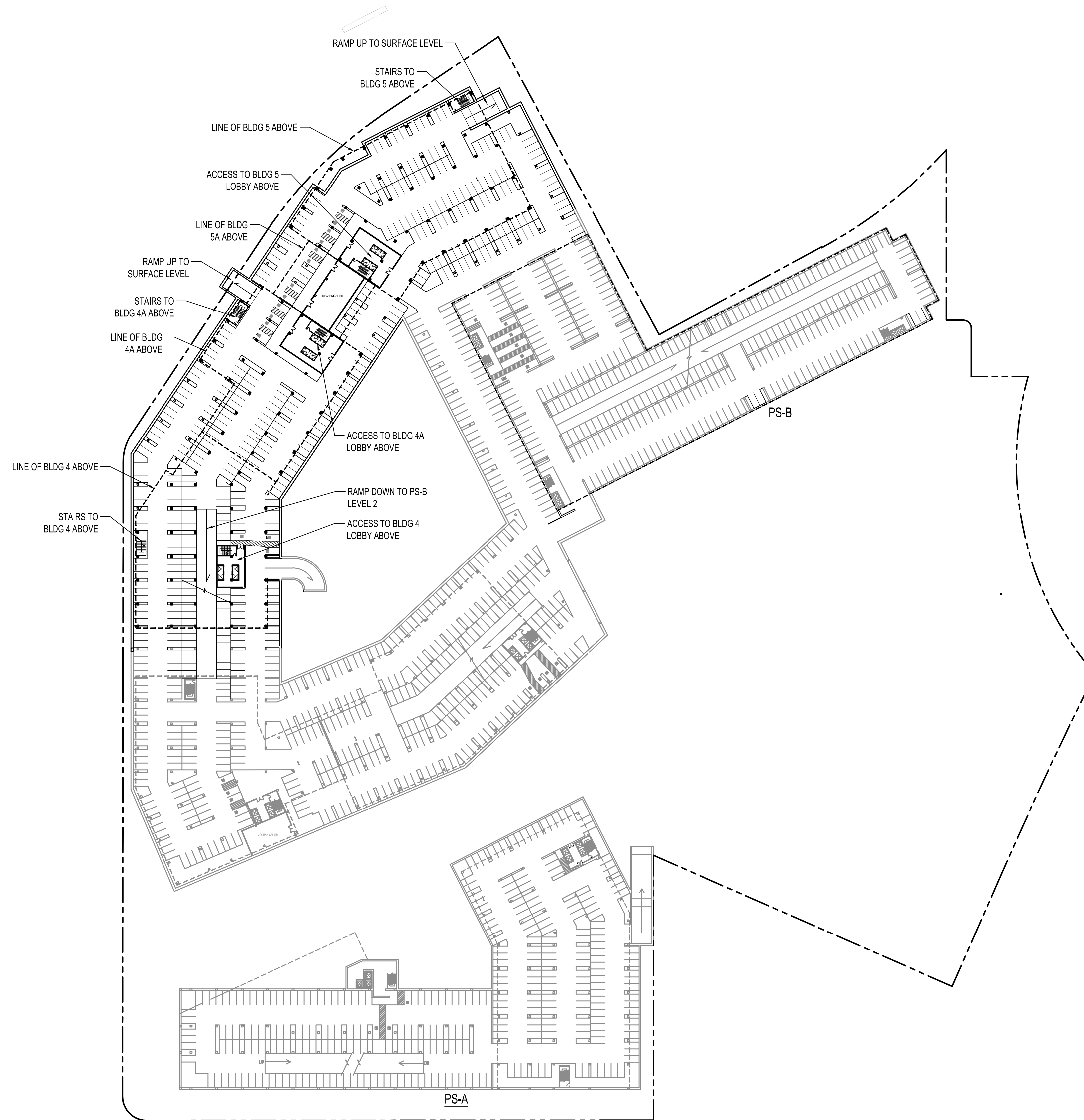
PARKING REQUIRED - 3,668 stalls

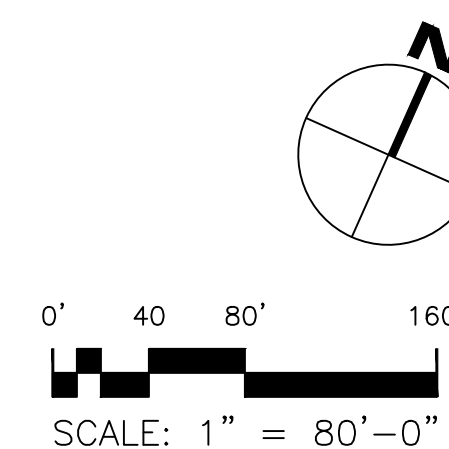
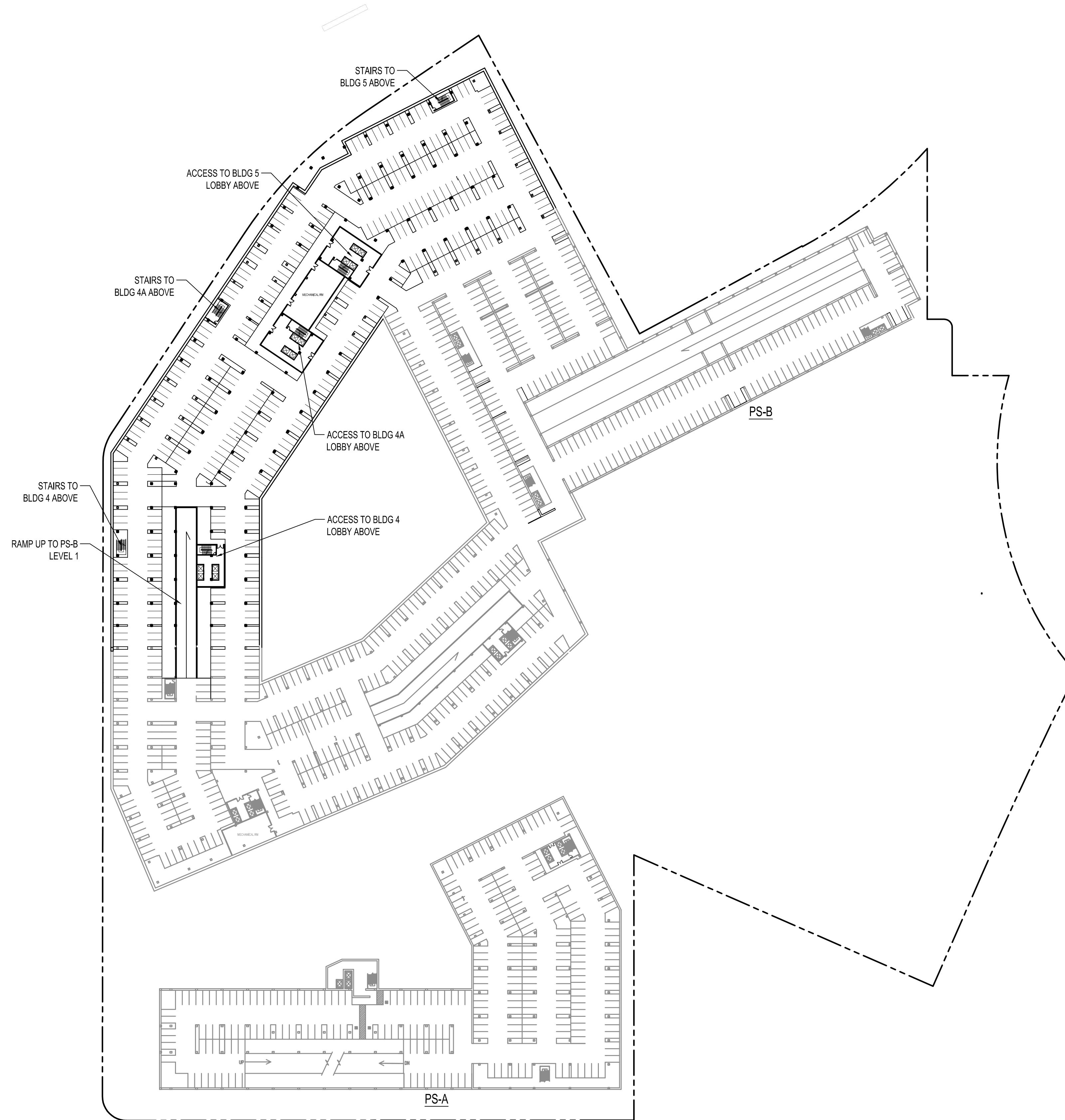
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|--------|--------------------------|
| OFFICE | 3,613 STALLS (2.19/1000) |
| RETAIL | 55 STALLS |

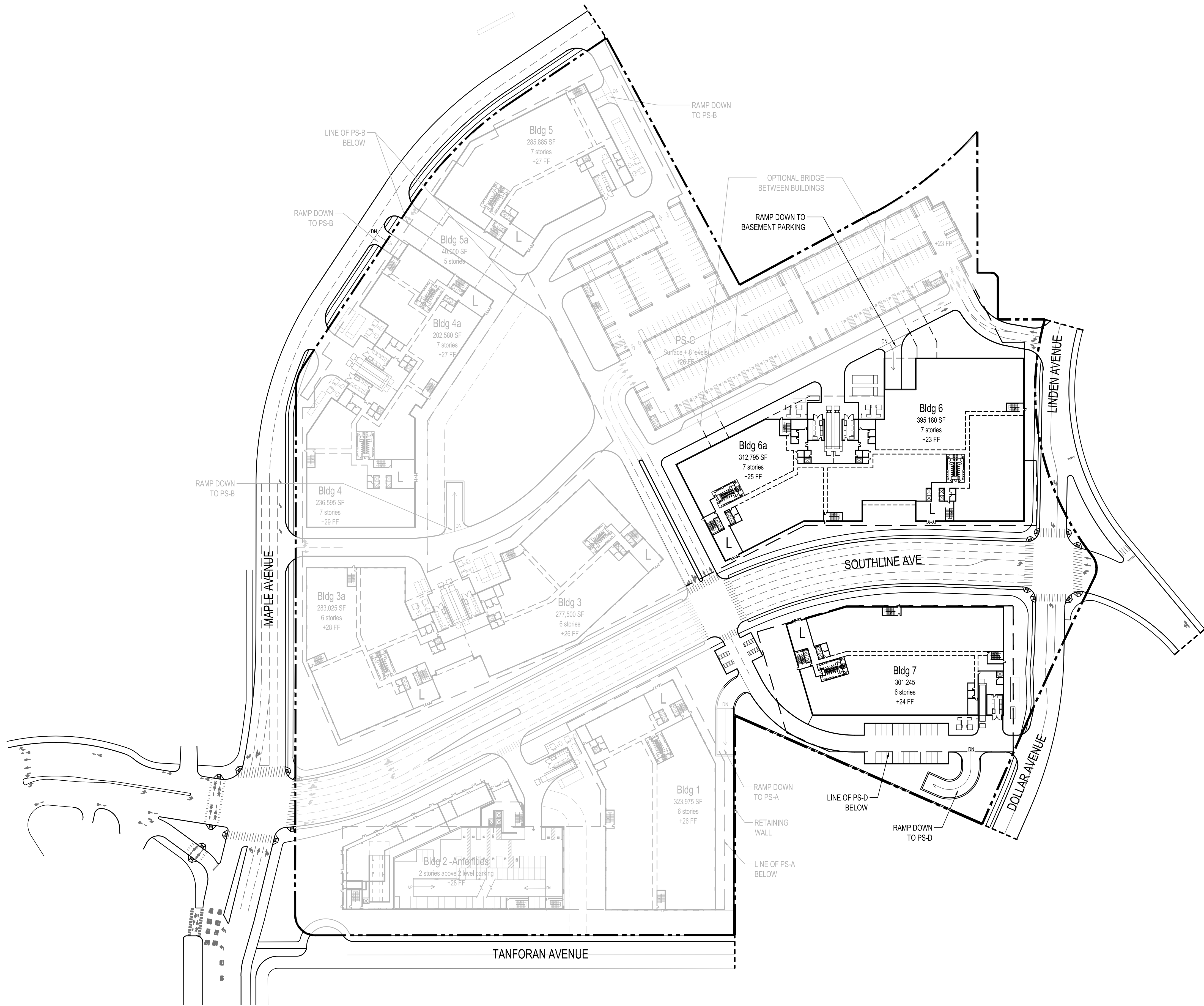
PARKING PROVIDED - 3,668 stalls

| | |
|---|----------------------|
| PS-A (under bldgs 1 & 2) | 590 STALLS (2B, S+1) |
| PS-B (under bldgs 3/3A, 4/4A, 5 & PS-C) | 1,822 STALLS (2B) |
| PS-C | 1,246 STALLS (S+4) |
| Surface Parking | 10 STALLS |









PROJECT DATA - PHASE 3

| | |
|----------------------|------------------------|
| SITE AREA | 1,157,800 SF (26.5 AC) |
| BUILDING AREA | 2,746,980 SF |

PHASE 1:

| | |
|--------------|-----------------------|
| BUILDING 1 | 323,975 SF |
| BUILDING 2 | 88,200 SF (amenities) |
| BUILDING 3 | 277,500 SF |
| BUILDING 3A | 283,025 SF |
| TOTAL | 972,200 SF |

PHASE 2:

| | |
|---------------|-------------------|
| BUILDING 4 | 236,595 SF |
| BUILDING 4A | 202,580 SF |
| BUILDING 5 | 285,885 SF |
| BUILDING 5A | 40,000 SF |
| TOTAL: | 765,060 SF |

PHASE 3:

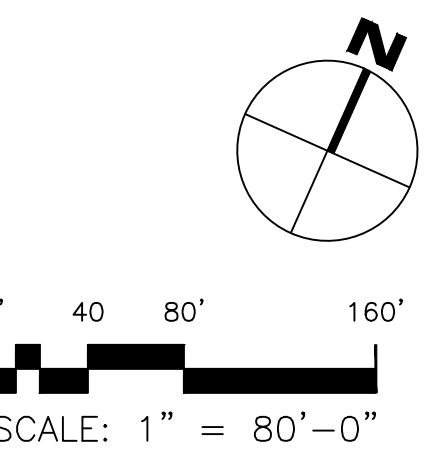
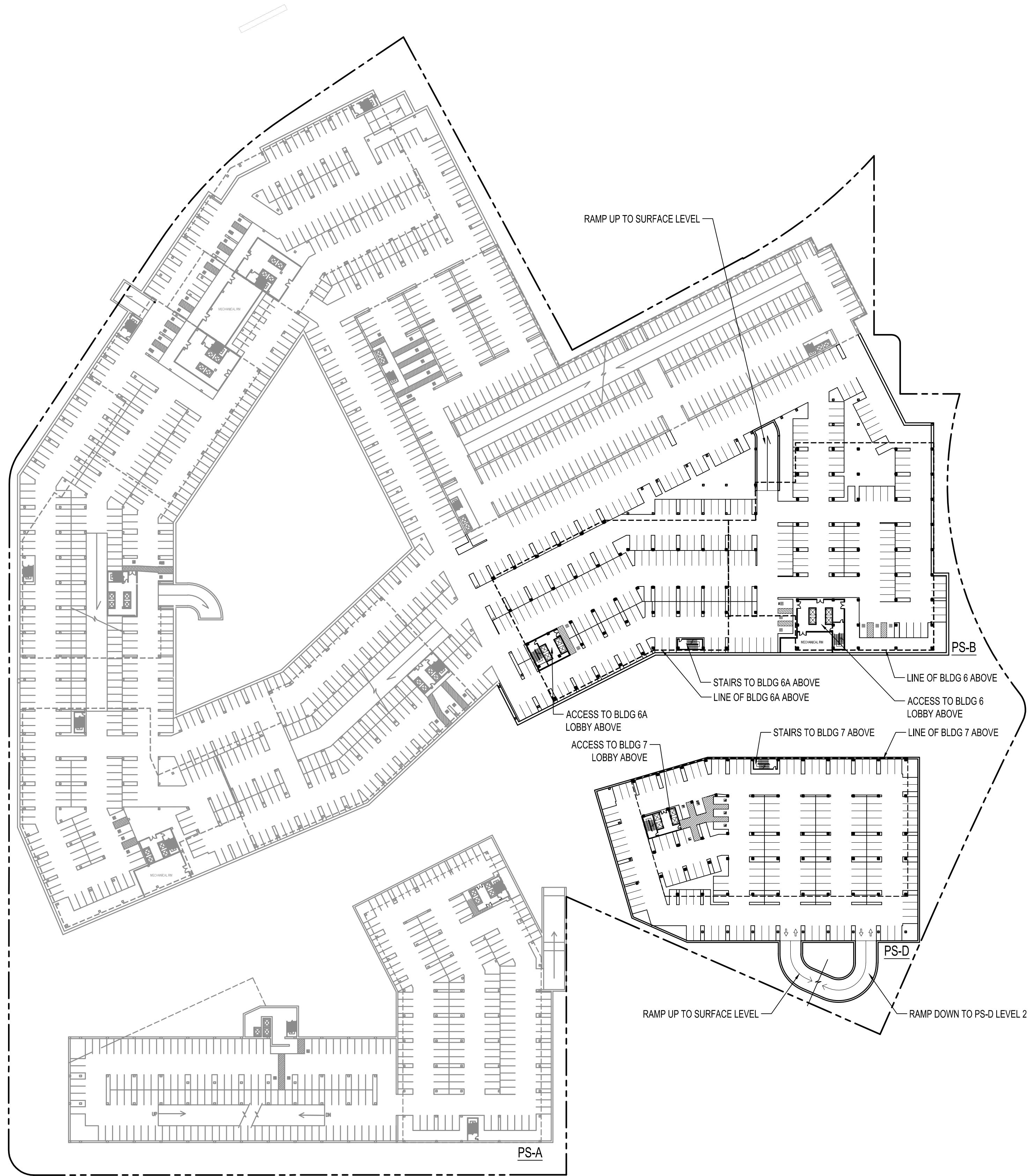
| | |
|---------------|---------------------|
| BUILDING 6 | 395,180 SF |
| BUILDING 6A | 312,795 SF |
| BUILDING 7 | 301,245 SF |
| TOTAL: | 1,009,220 SF |

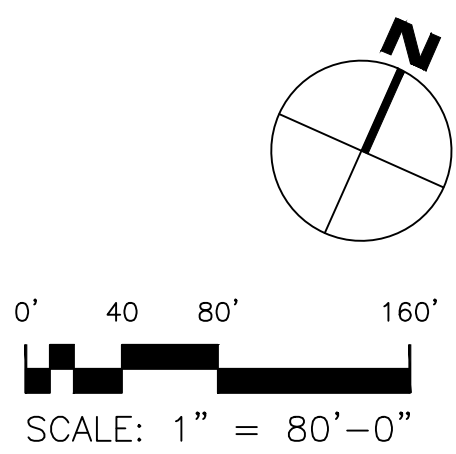
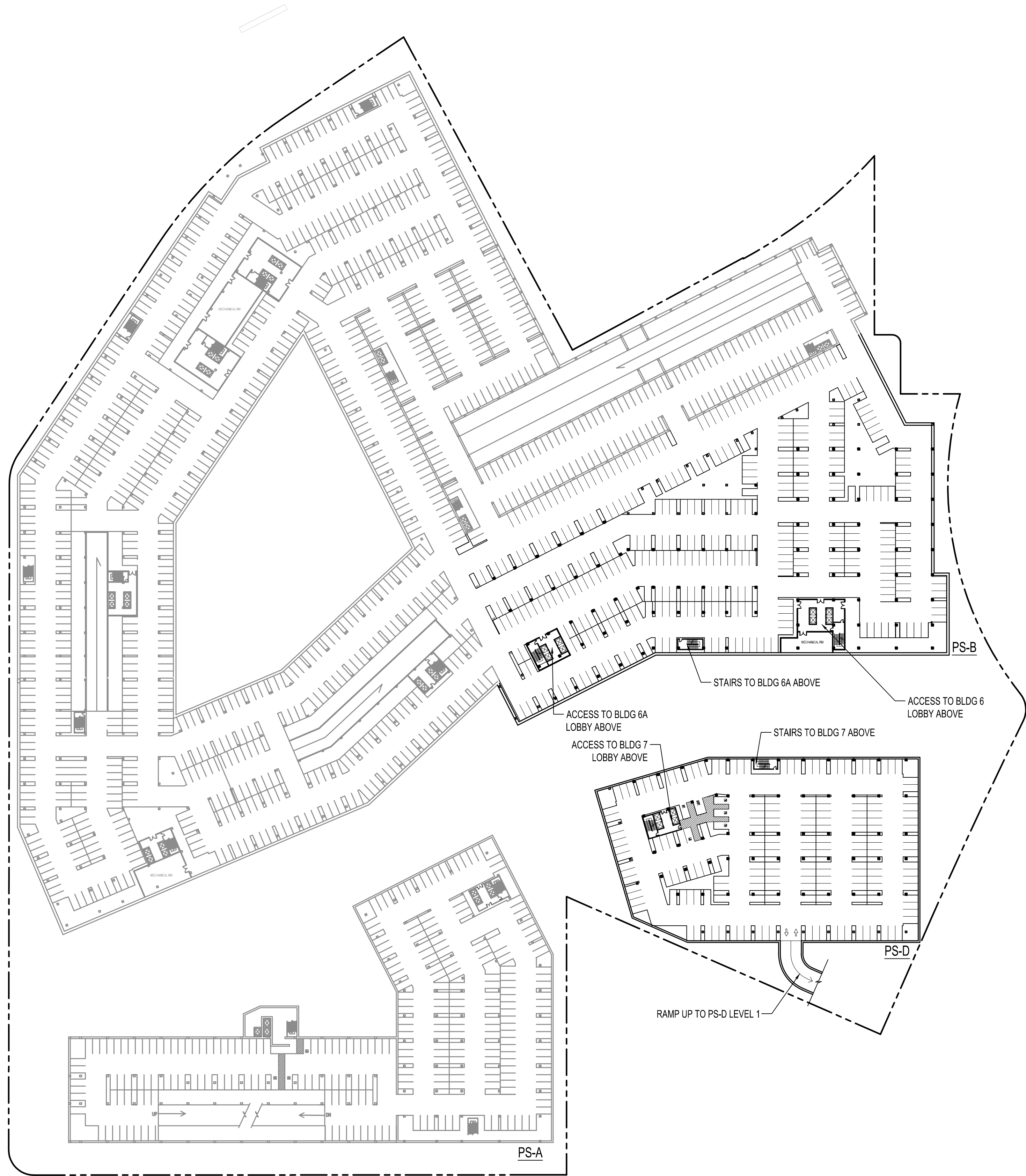
PARKING REQUIRED - 5,878 stalls

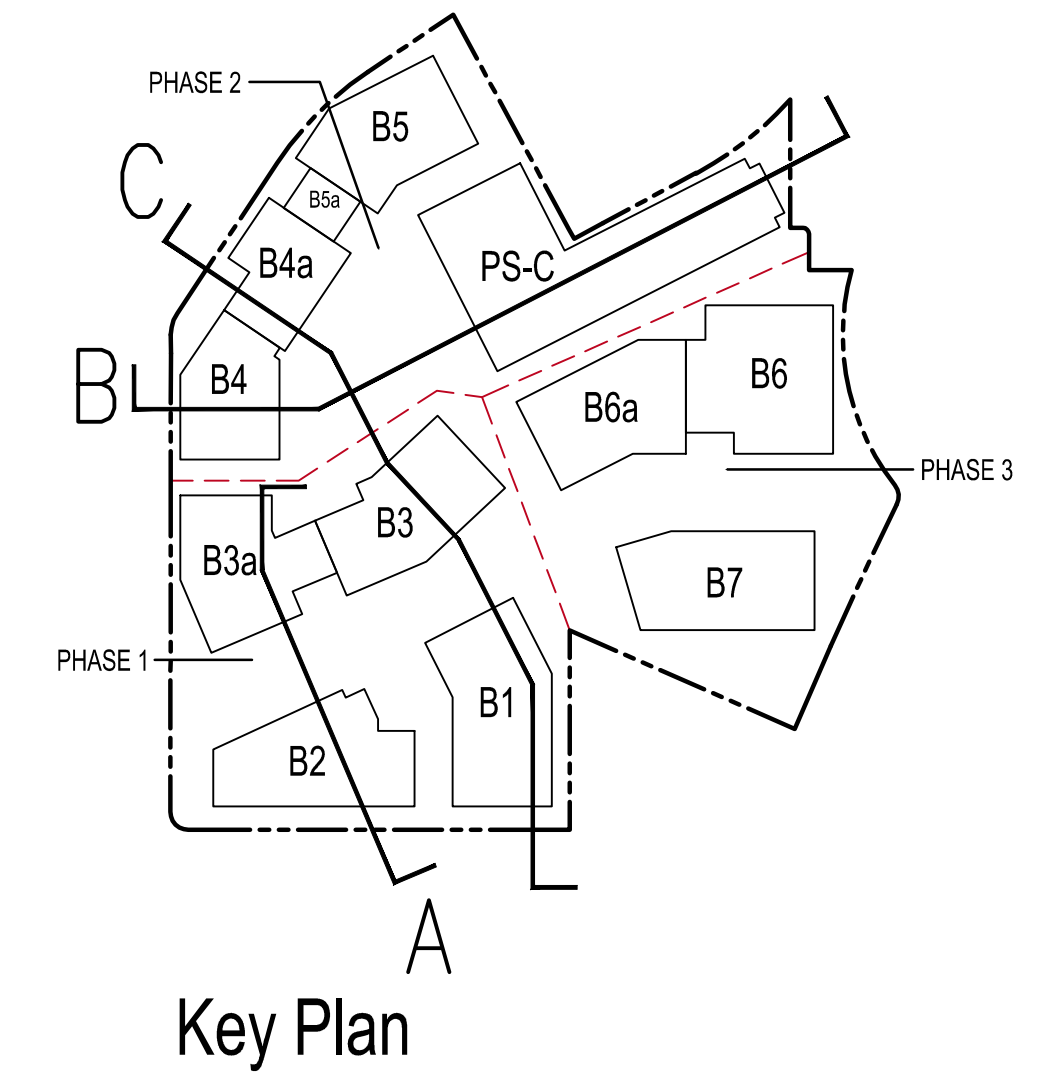
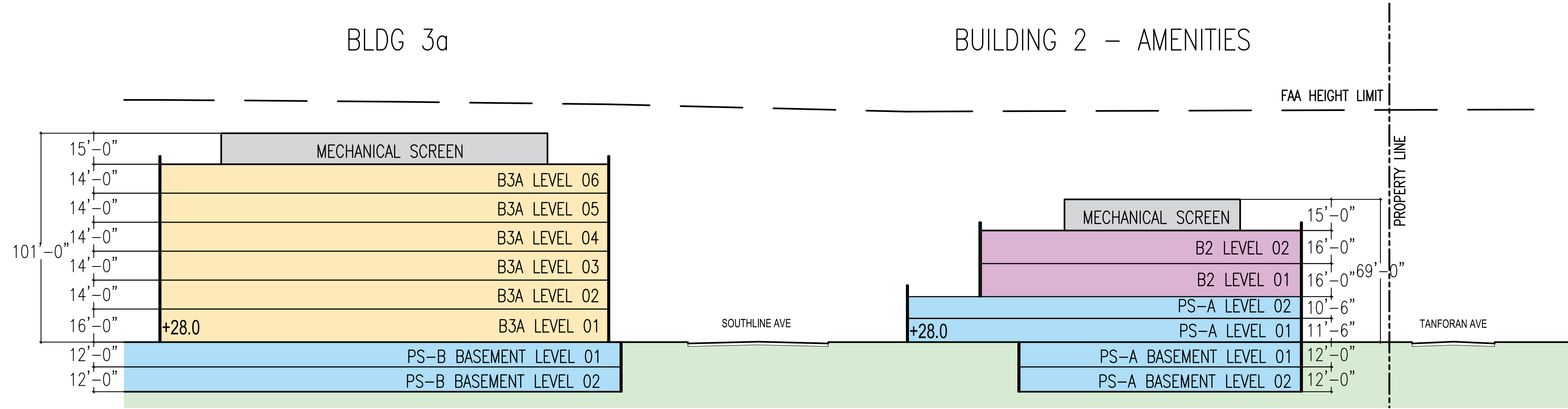
| | |
|--------|--------------------------|
| OFFICE | 5,823 STALLS (2.19/1000) |
| RETAIL | 55 STALLS |

PARKING PROVIDED - 5,878 stalls (2.19/1000)

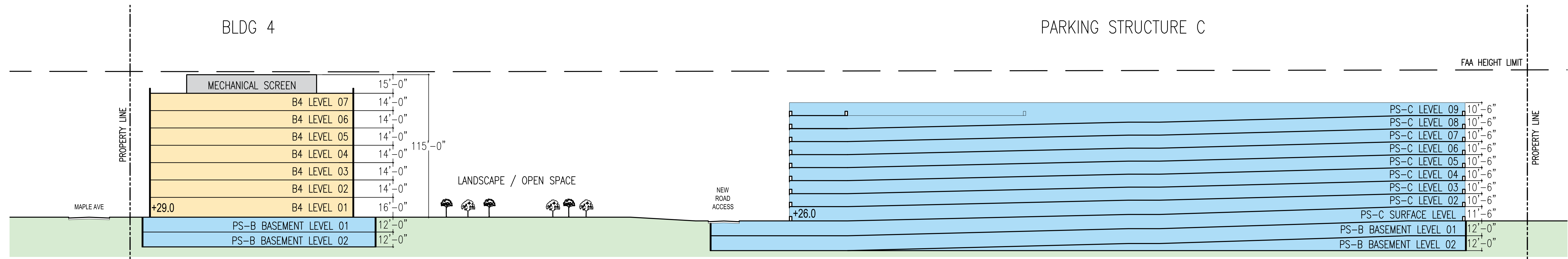
| | |
|--|----------------------|
| PS-A (under bldgs 1 & 2) | 590 STALLS (2B, S+1) |
| PS-B (under bldgs 3, 4, 5, 6 & PS-C) | 2,502 STALLS (2B) |
| PS-C (Phase 1: Lvl 1-5, Phase 2: Lvl 6-9) | 2,440 STALLS (S+8), |
| PS-D (under bldg 7) | 336 STALLS (2B) |
| Surface (Phase 2: 10 stalls, Phase 3: 30 stalls) | 40 STALLS |



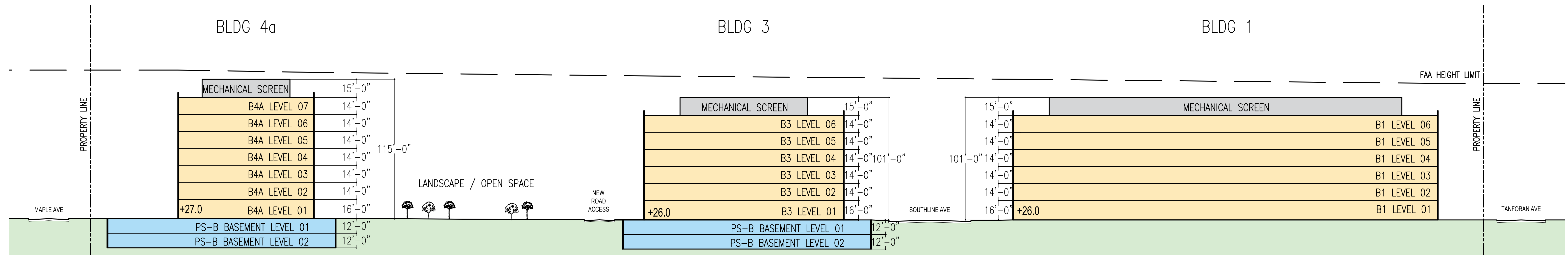




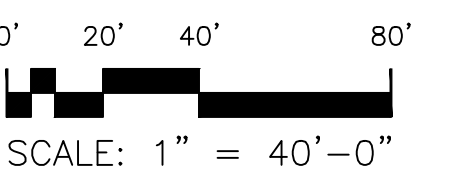
A North to South Section: Building 3a and Amenities Building
1" = 40'-0"



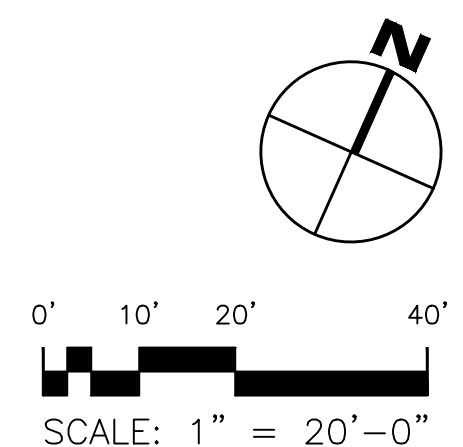
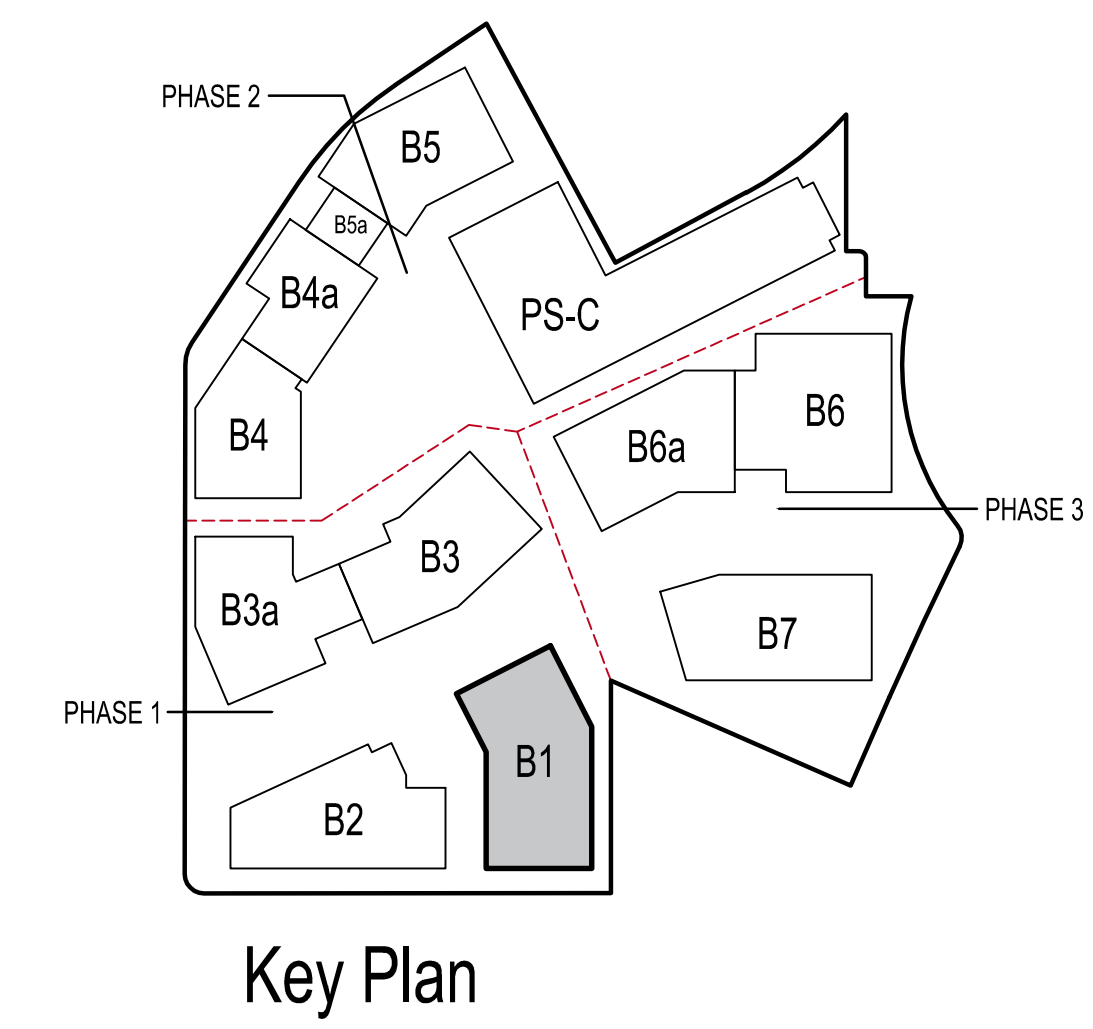
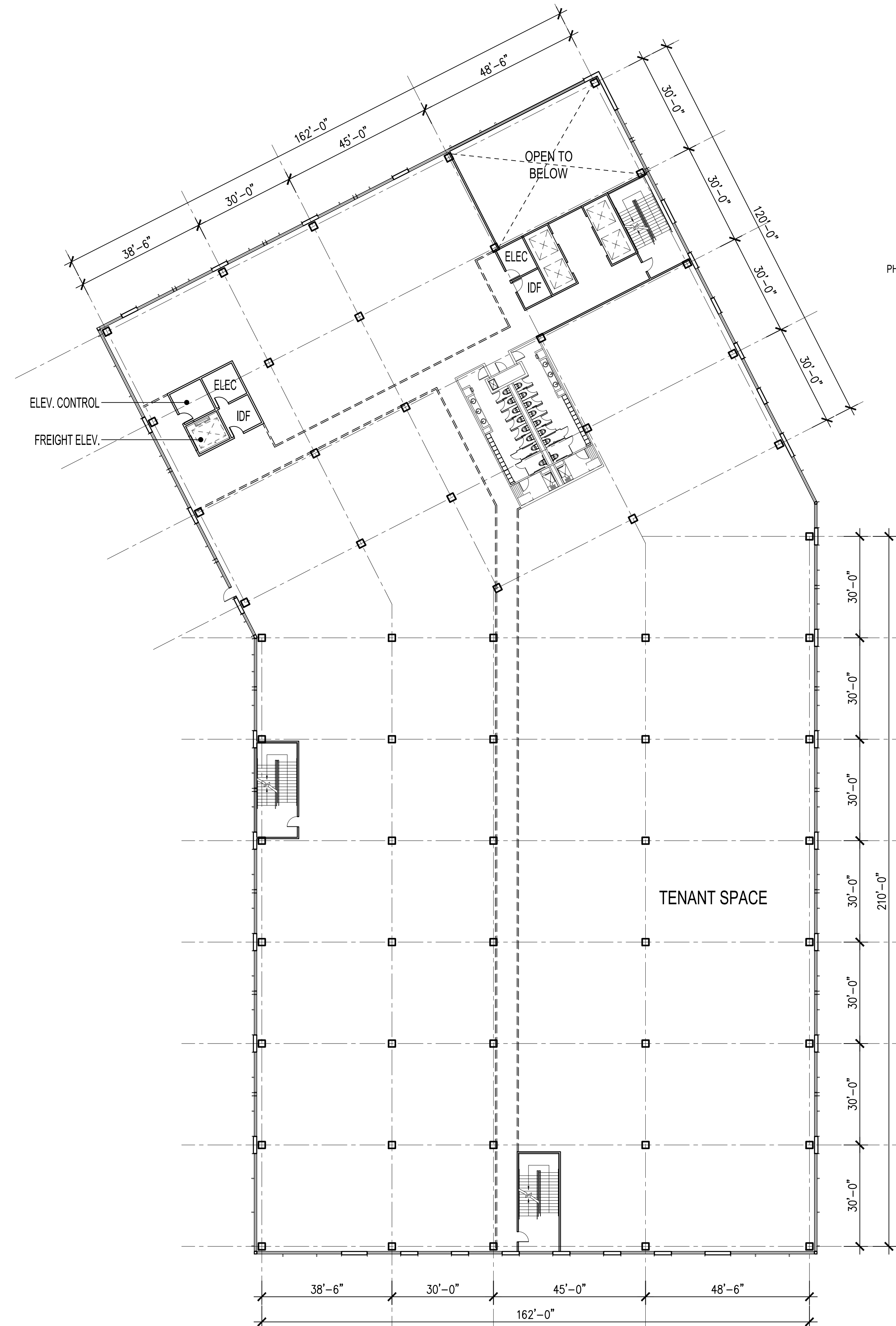
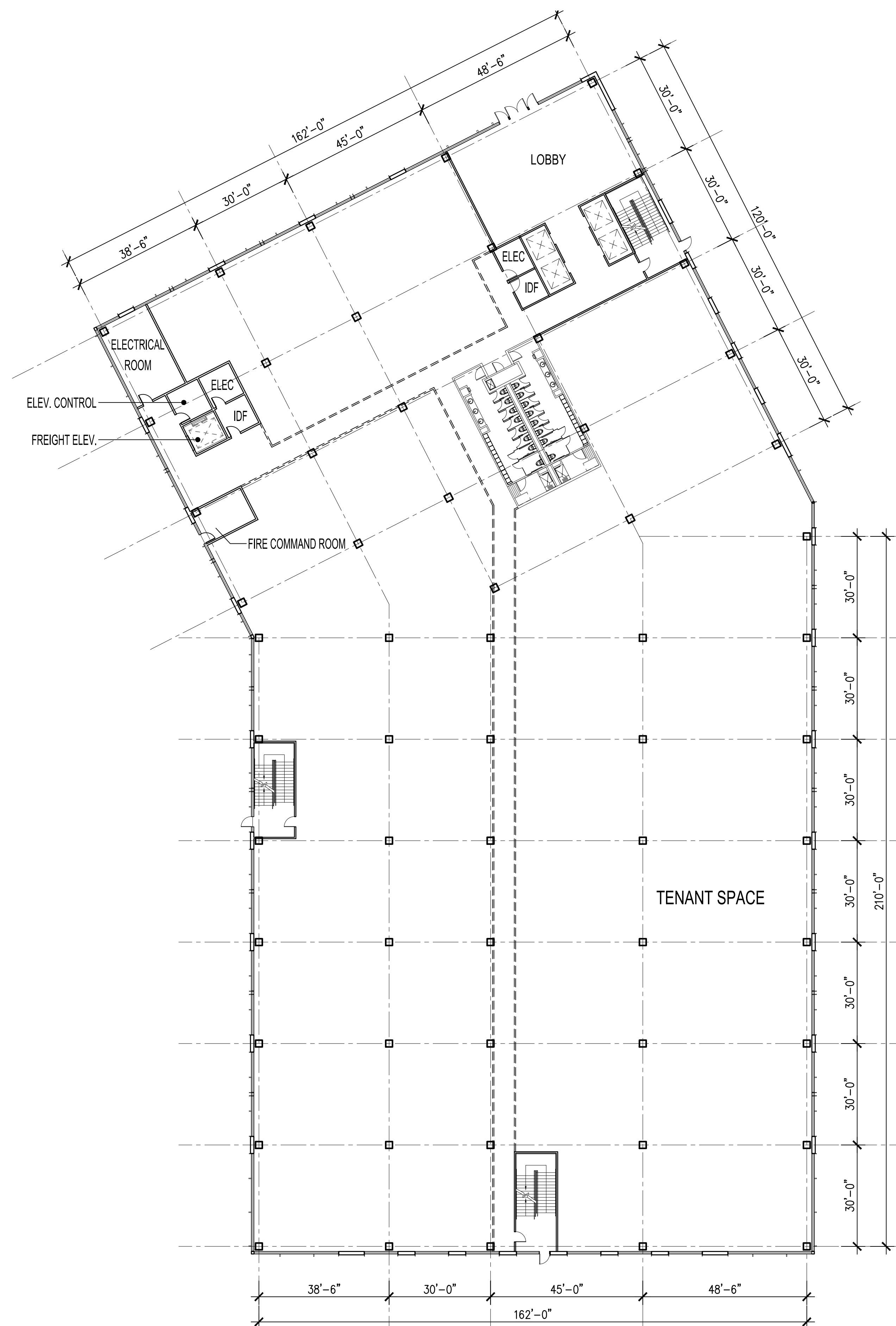
B West to East Section: Building 4 and Parking Structure C
1" = 40'-0"



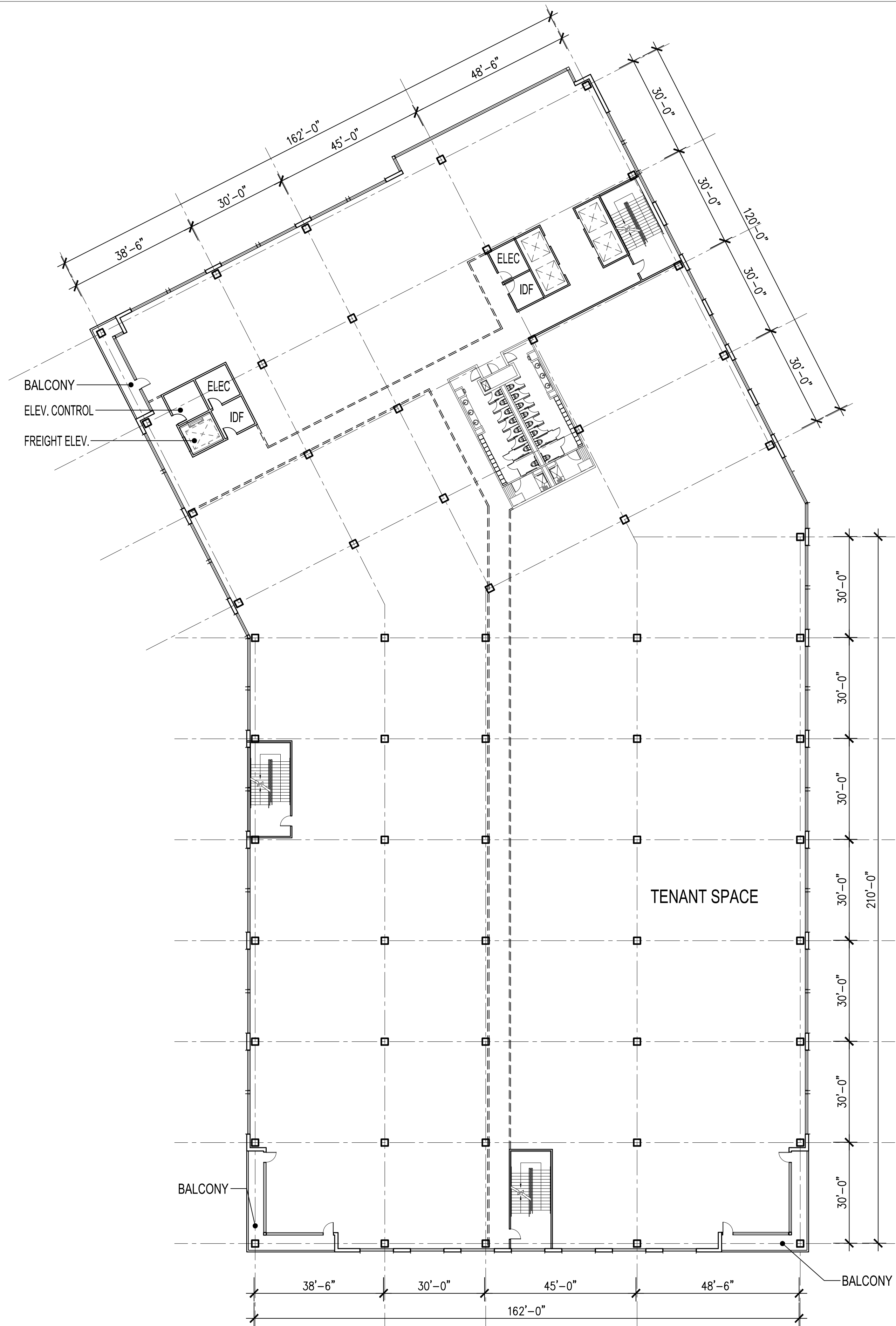
C North to South Section: Buildings 4a, 3, and 1
1" = 40'-0"



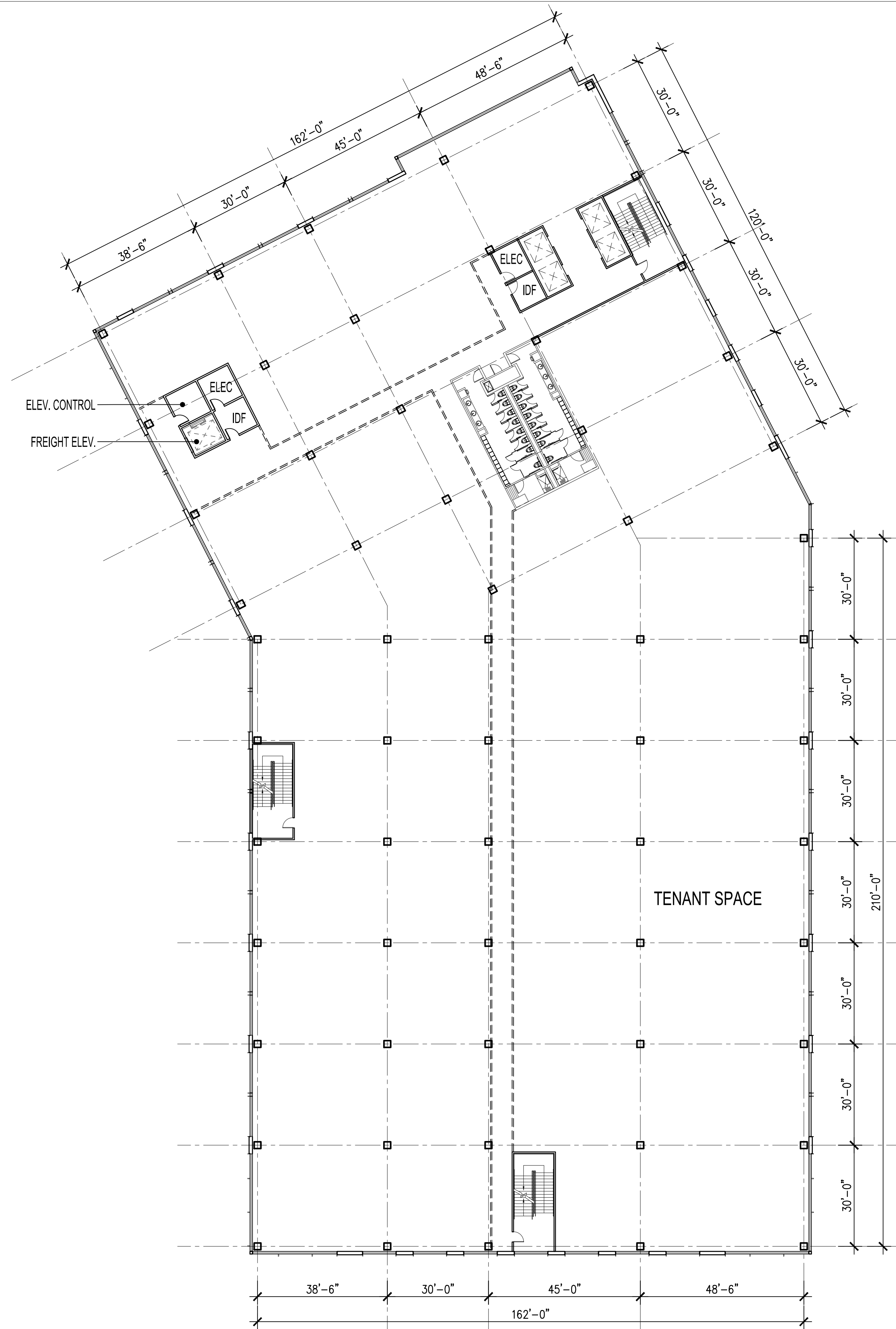
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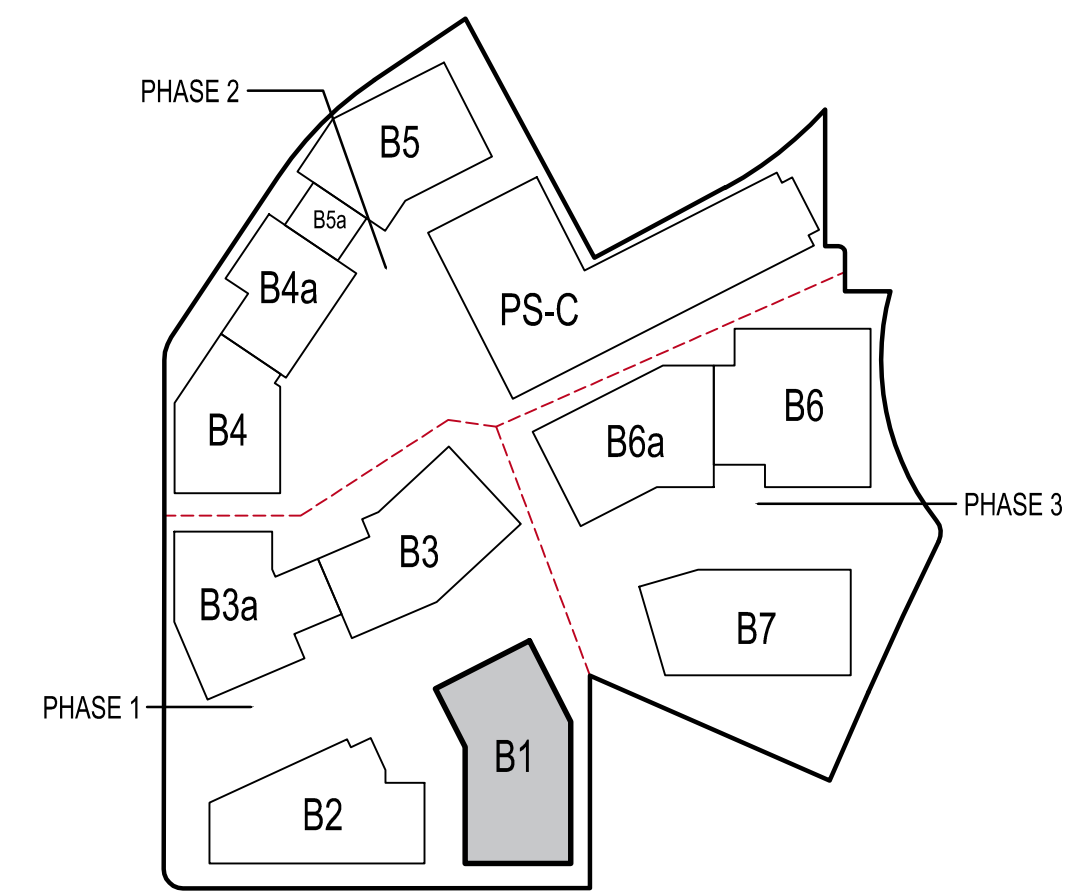
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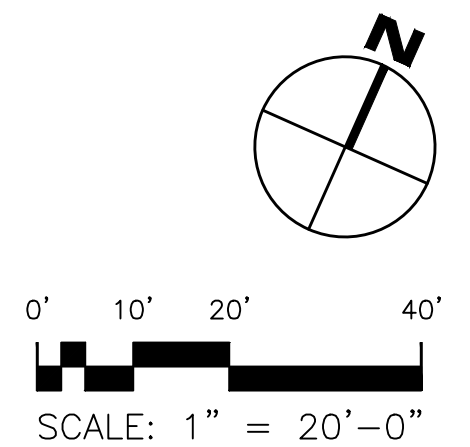
1 Building 1: Floor Plan Level 3
1"=20'-0"



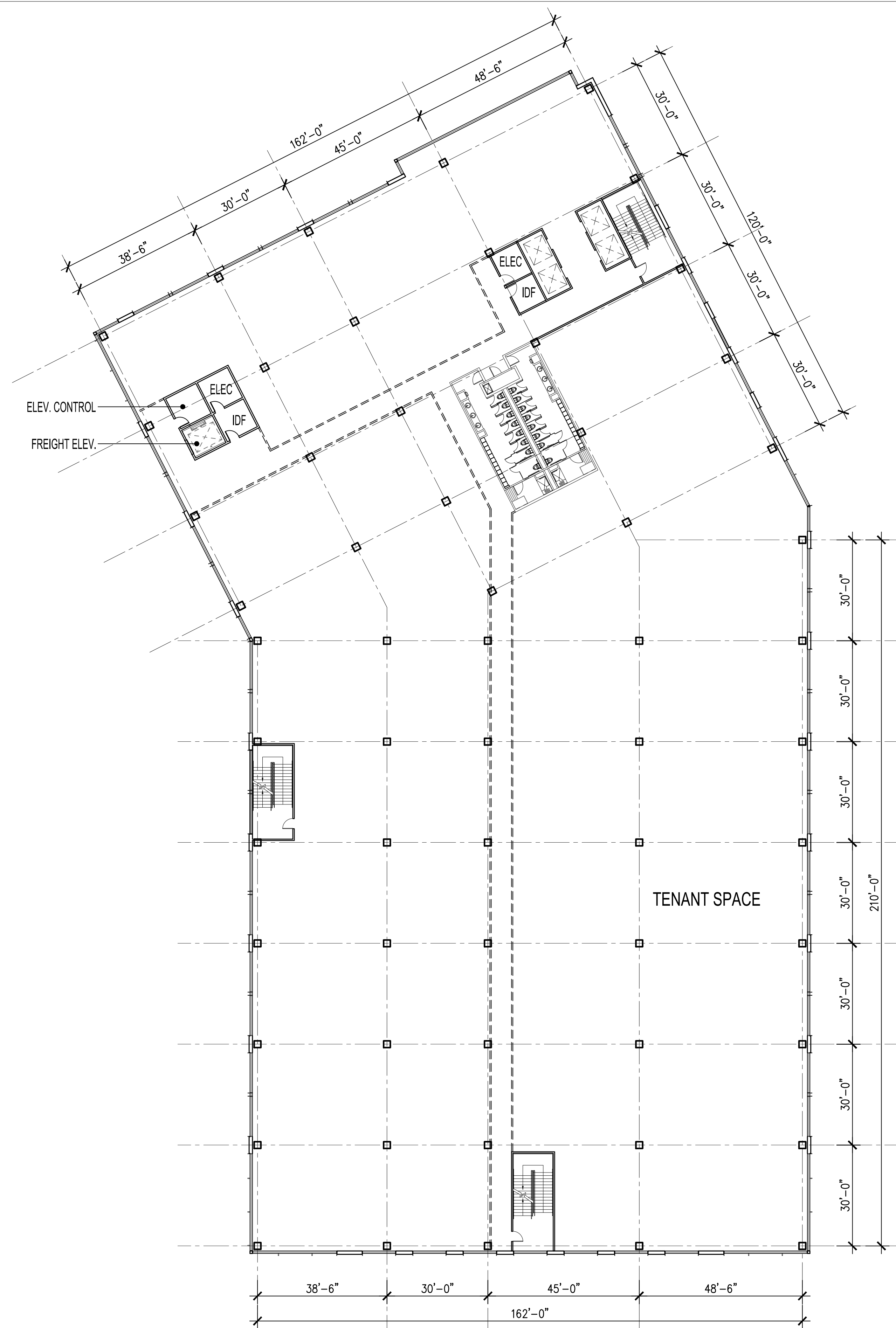
2 Building 1: Floor Plan Level 4
1"=20'-0"



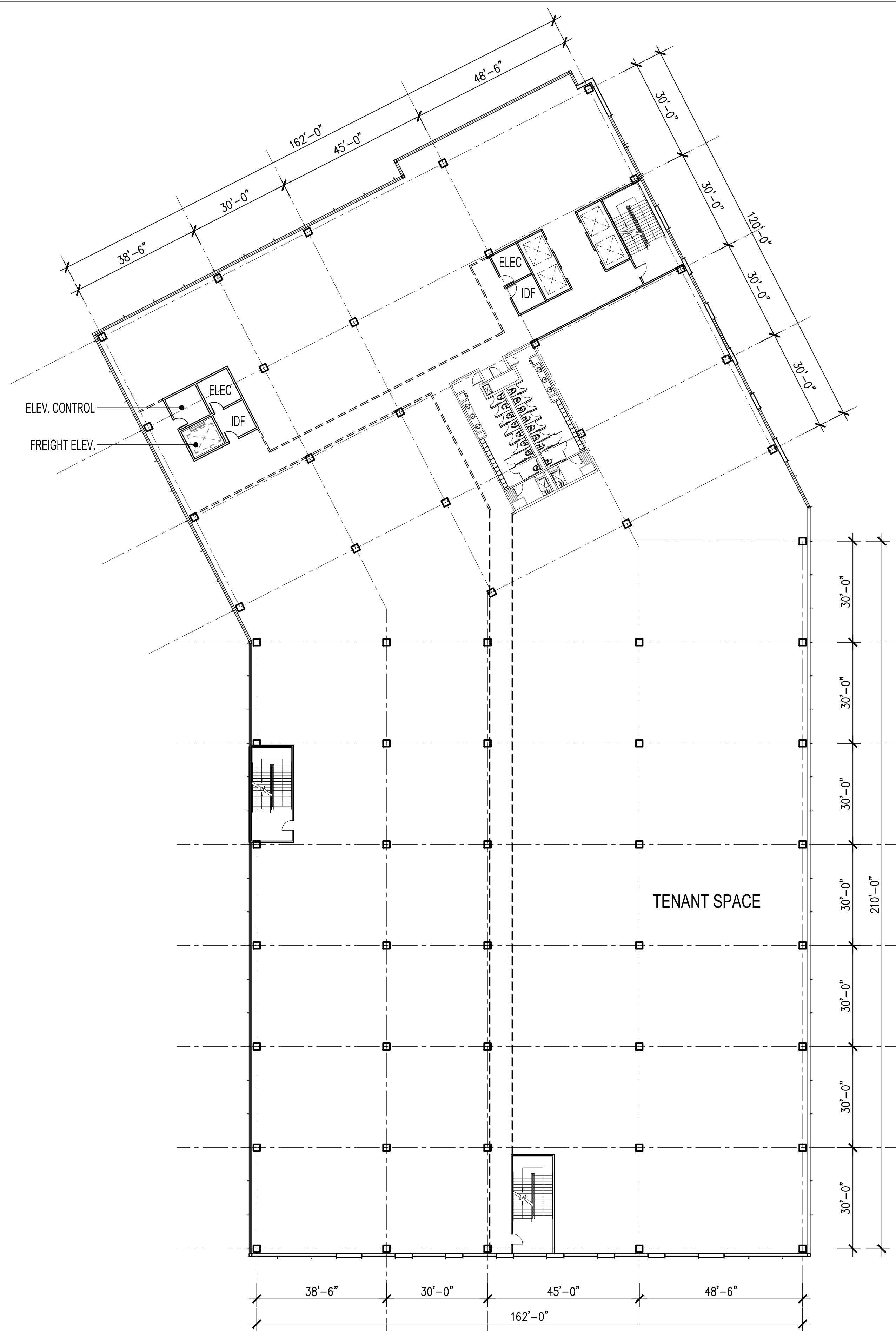
Key Plan



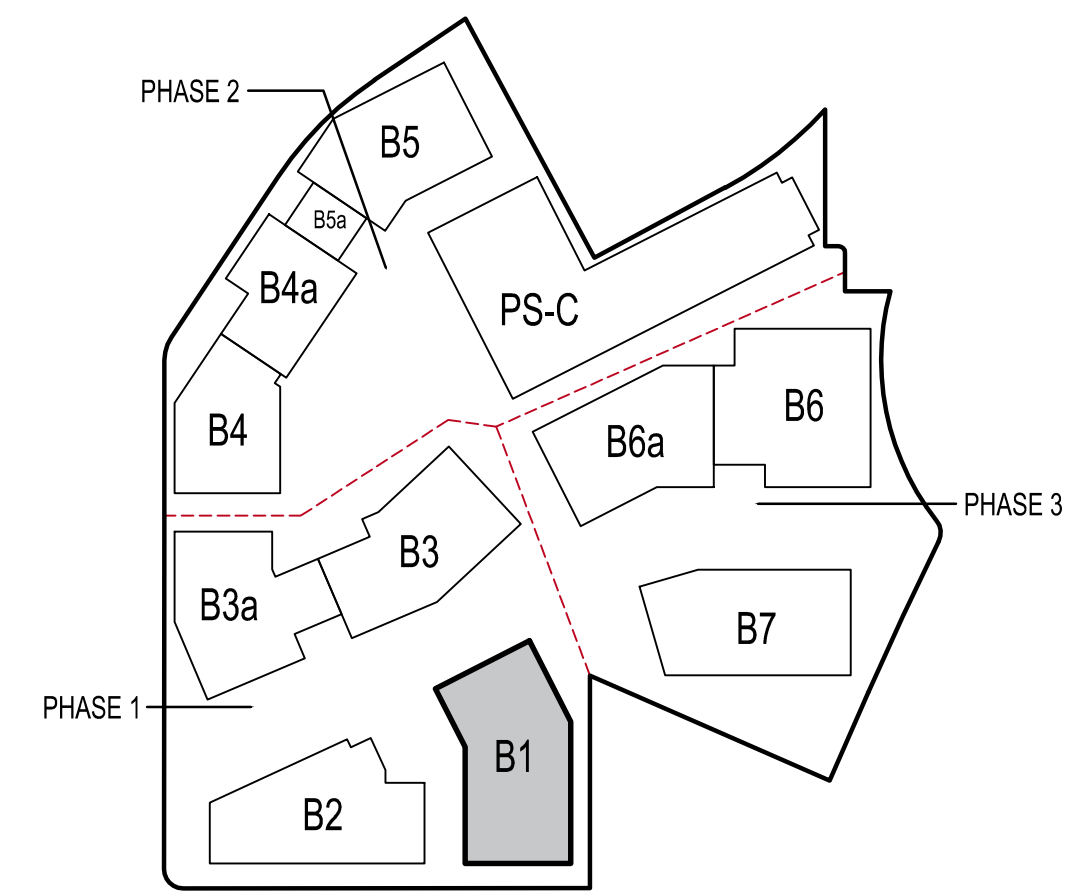
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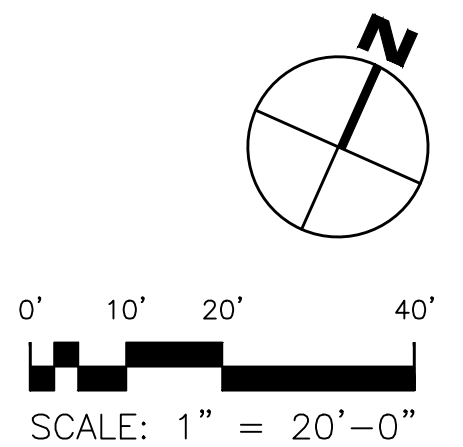
1 Building 1: Floor Plan Level 5
1"=20'-0"

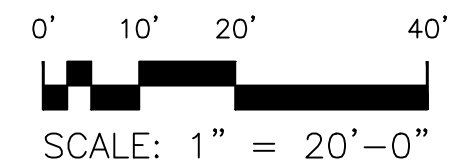
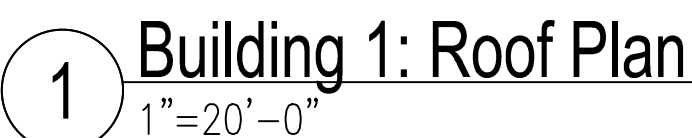


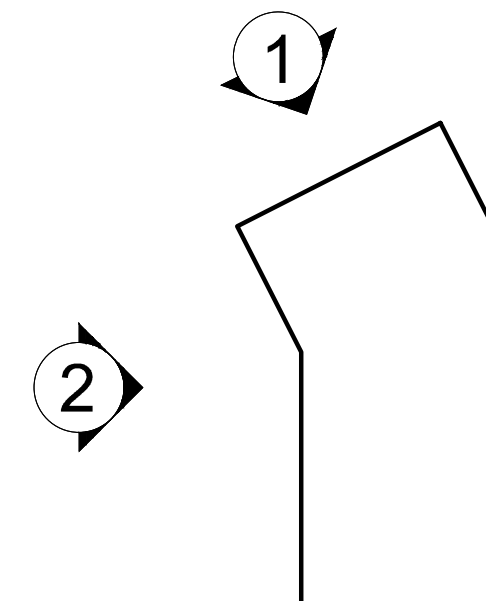
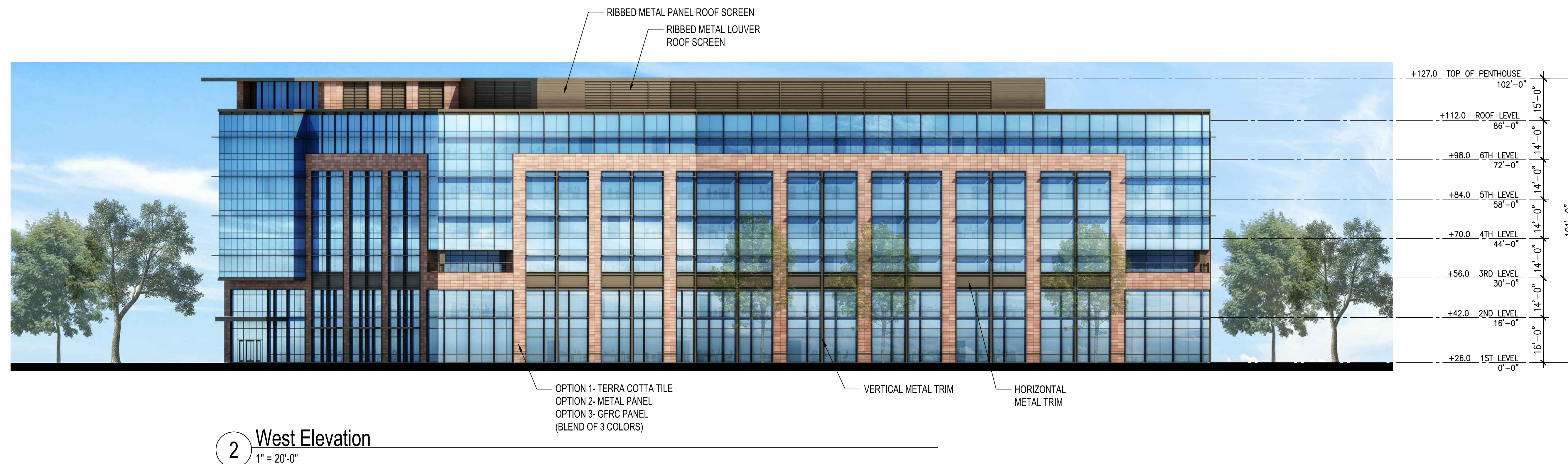
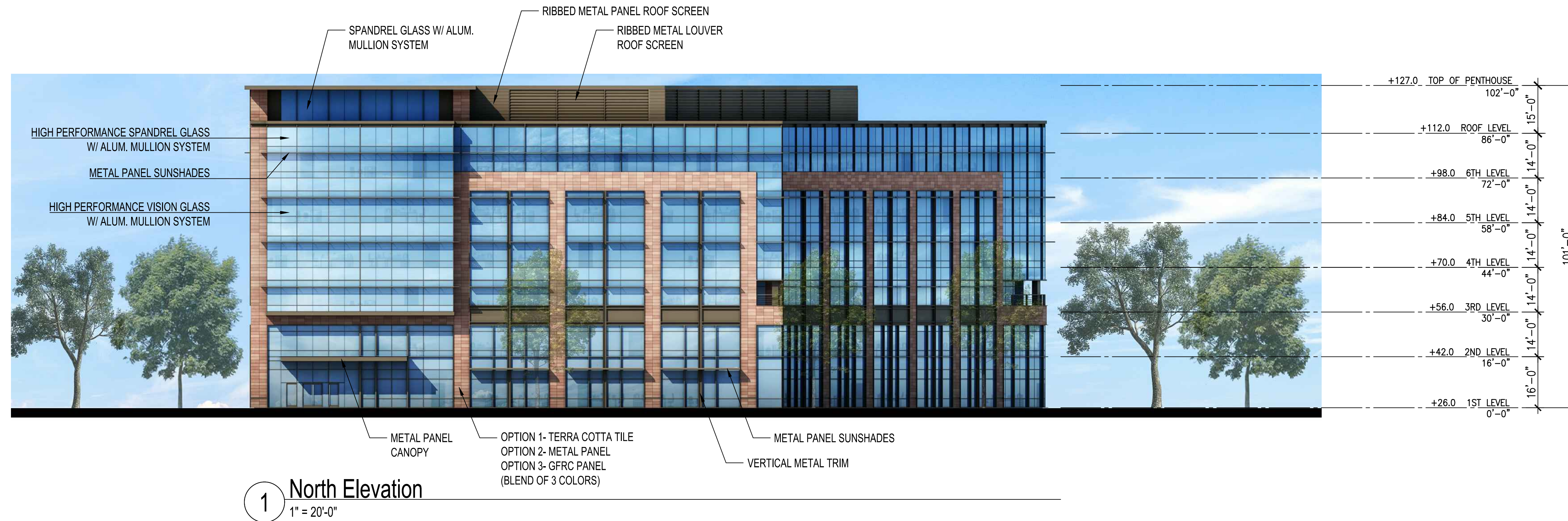
2 Building 1: Floor Plan Level 6
1"=20'-0"

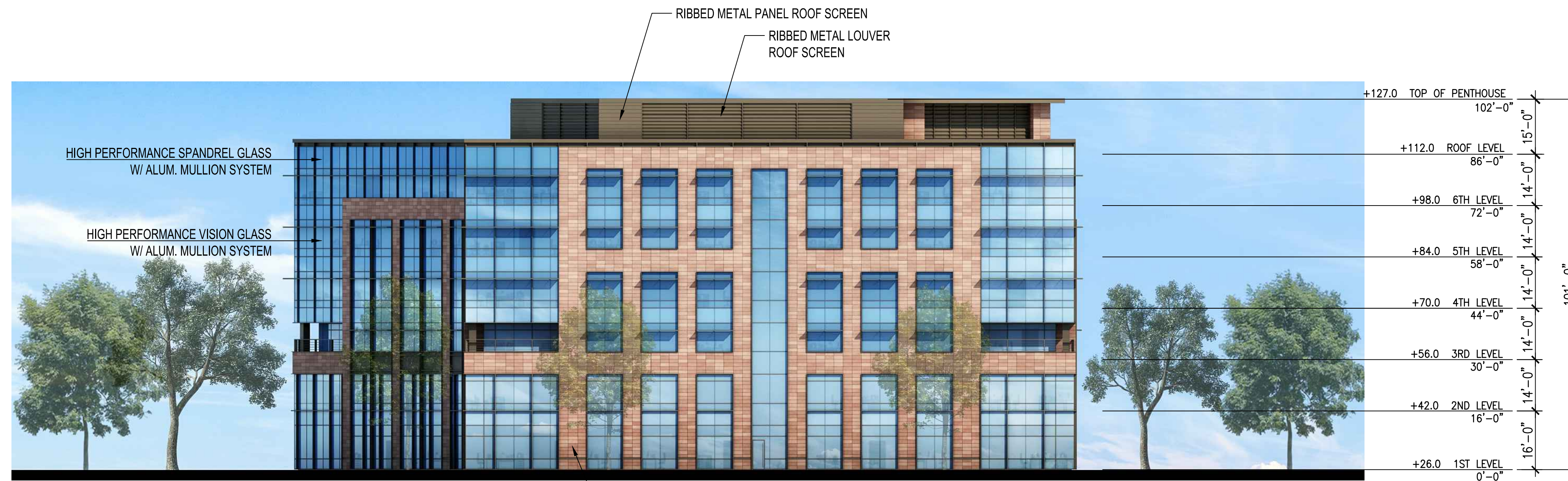


Key Plan

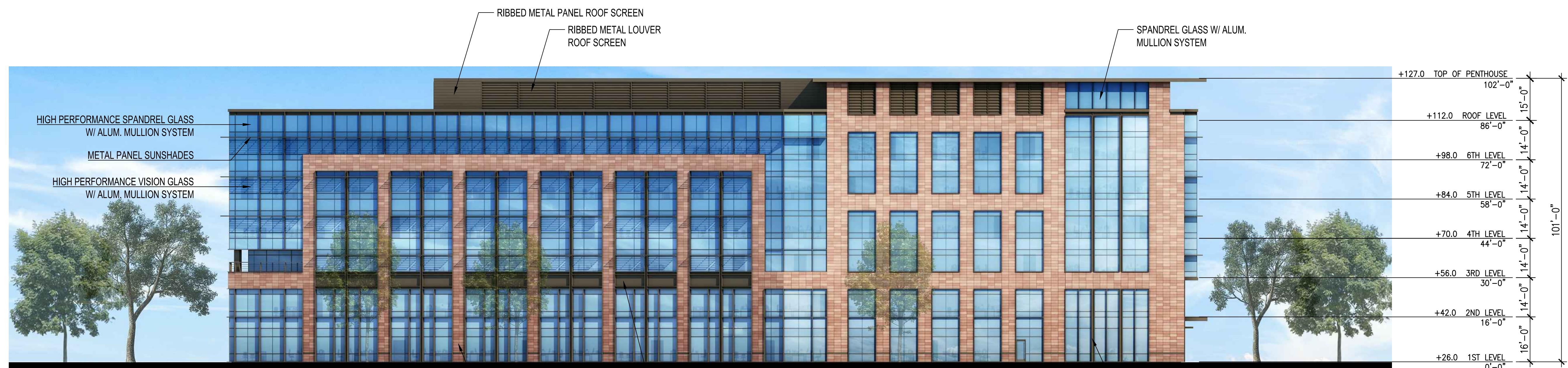




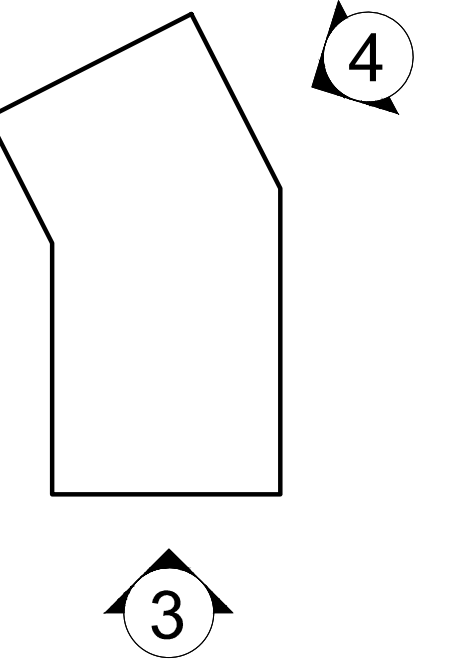


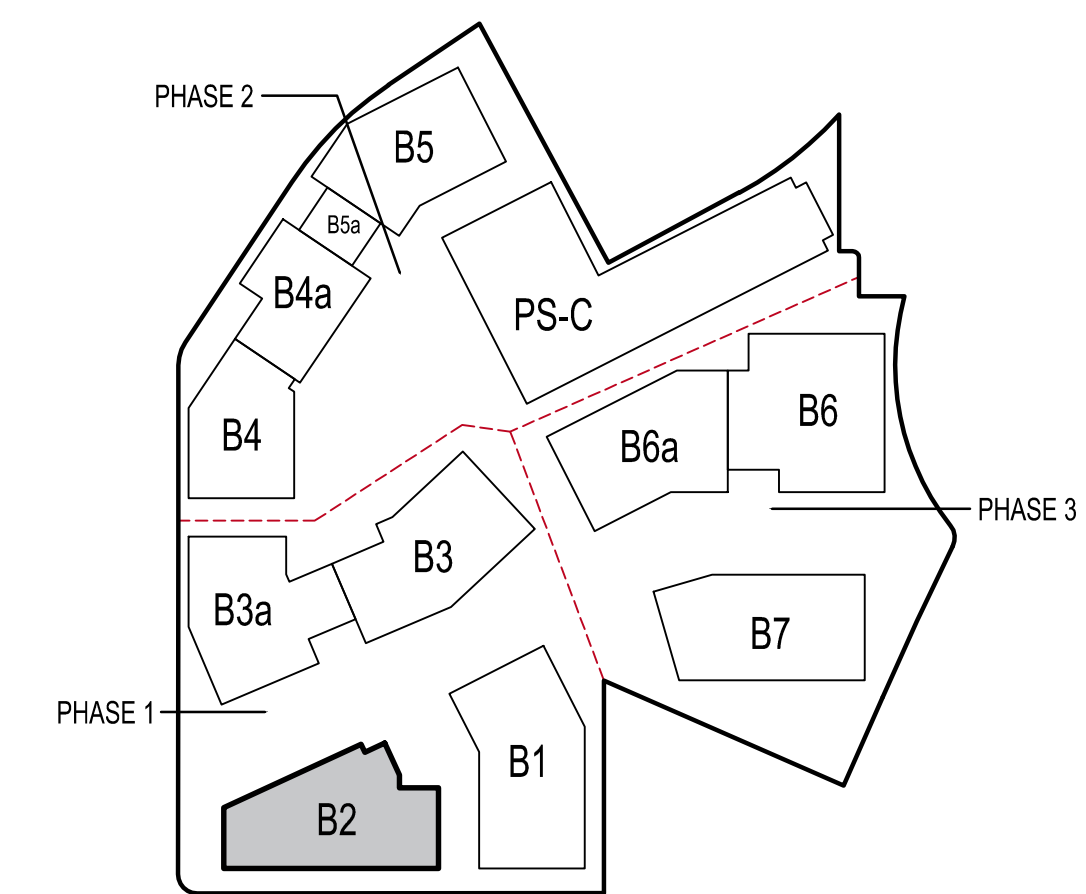


3 South Elevation
1" = 20'-0"

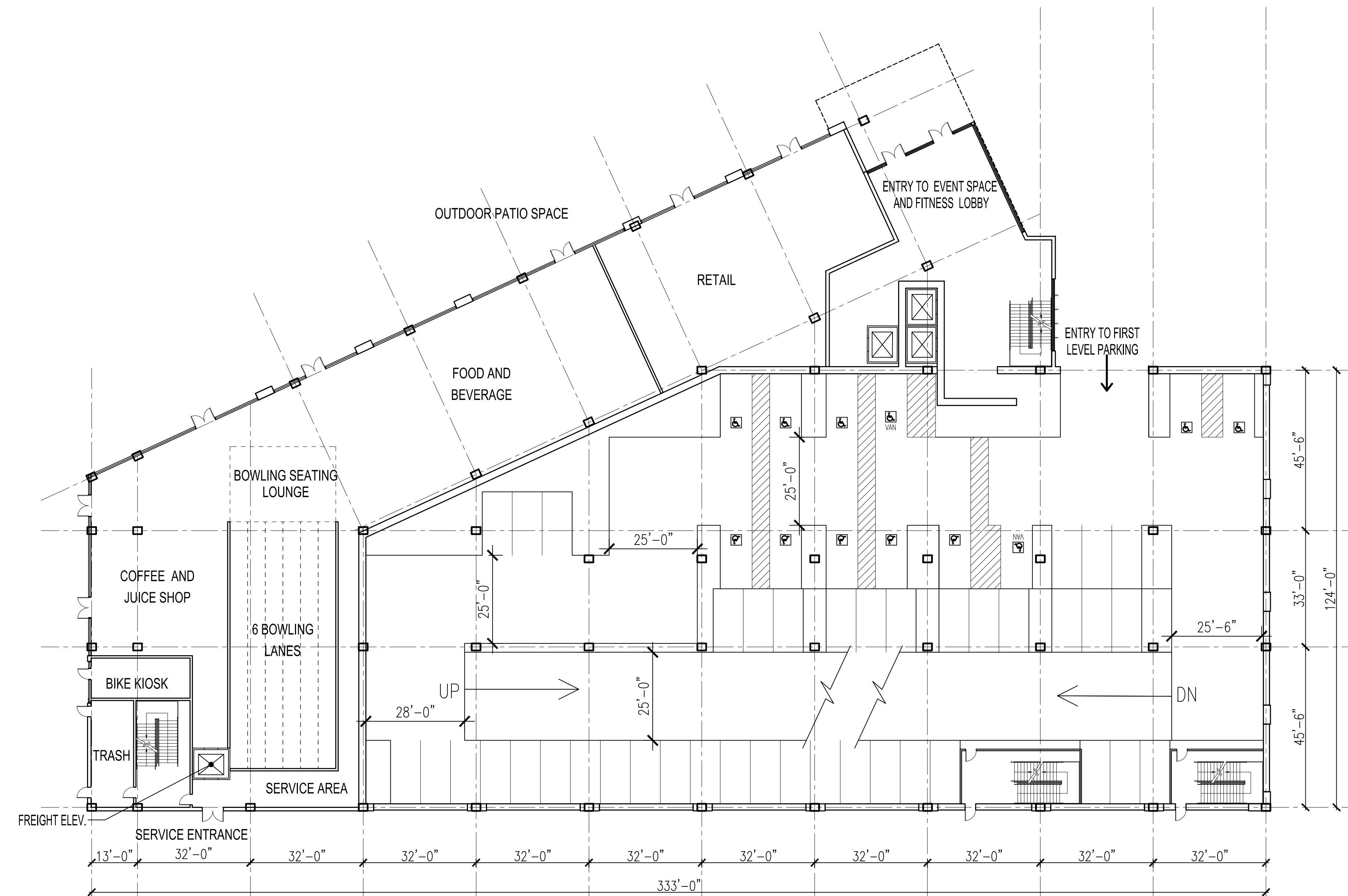


4 East Elevation
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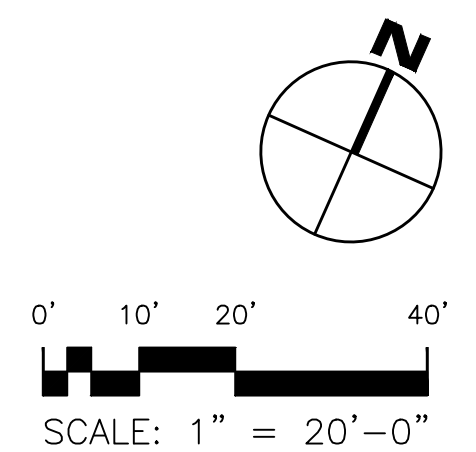


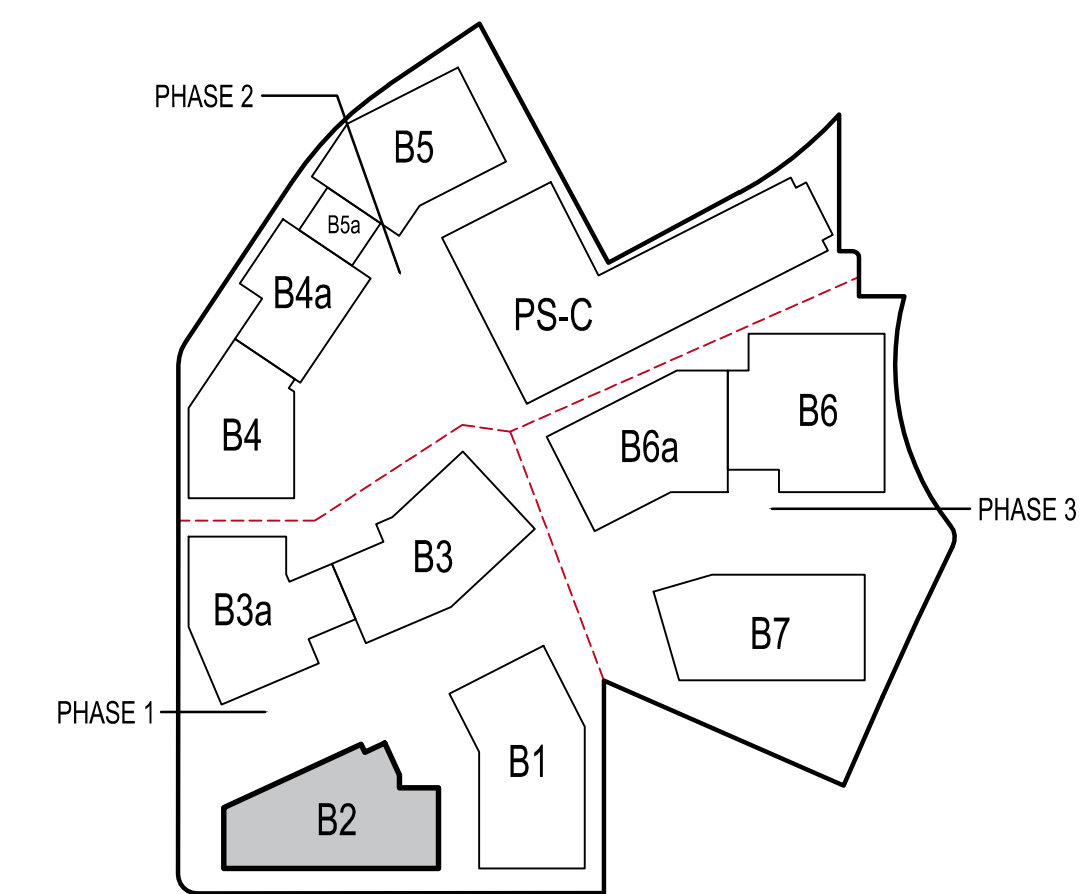


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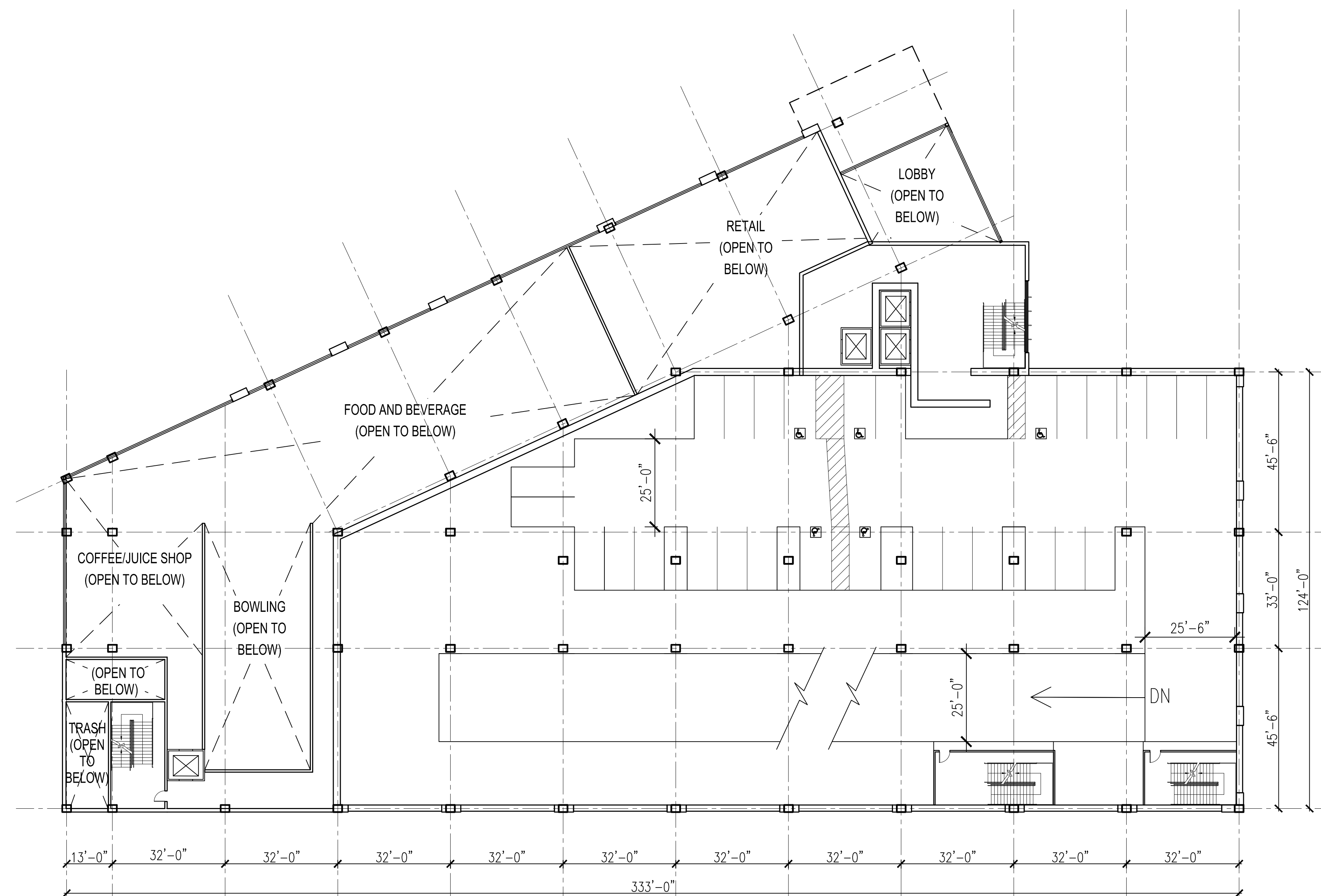


1 Building 2 Amenities: Floor Plan Level 1
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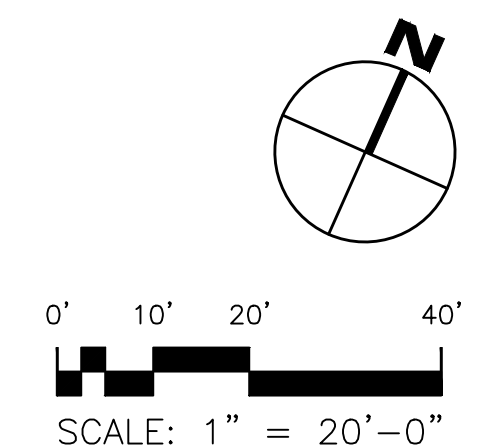




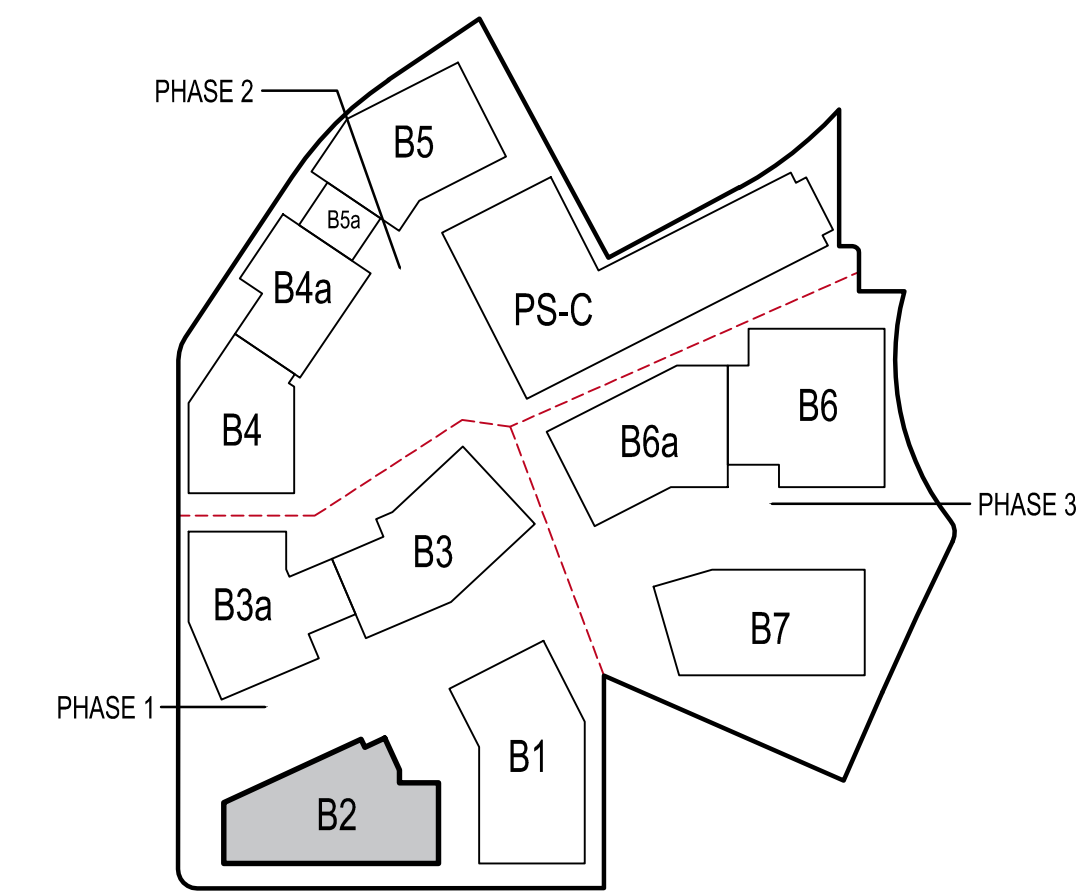
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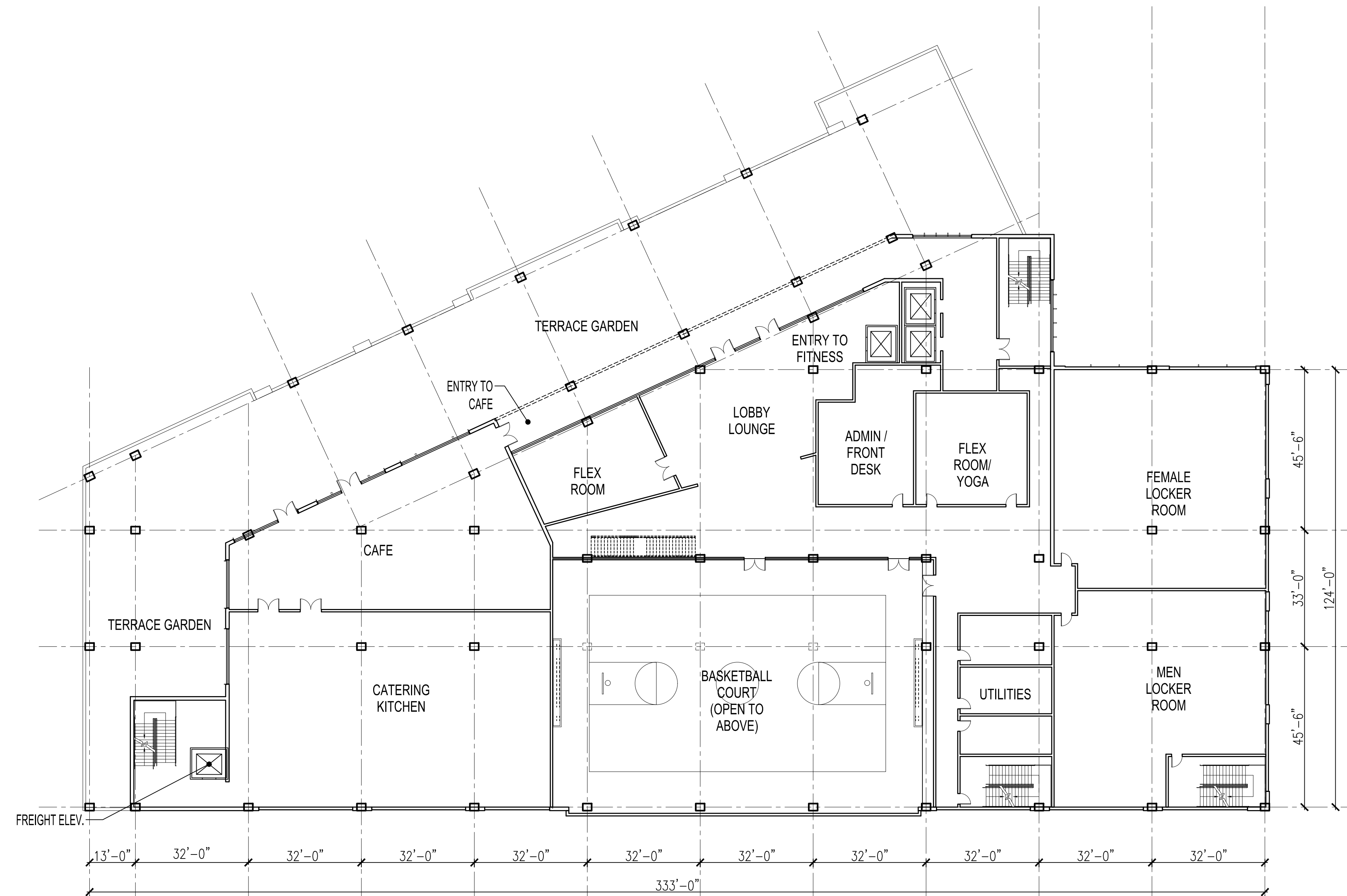
1 Building 2 Amenities: Floor Plan Level 2
1"=20'-0"



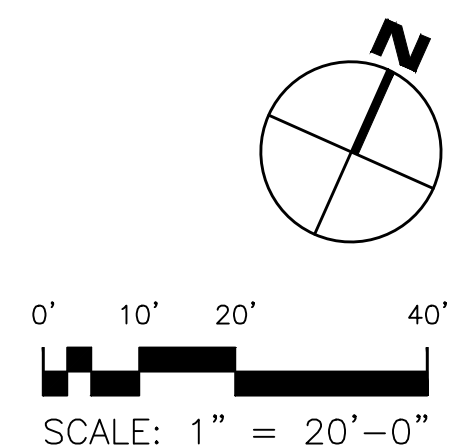
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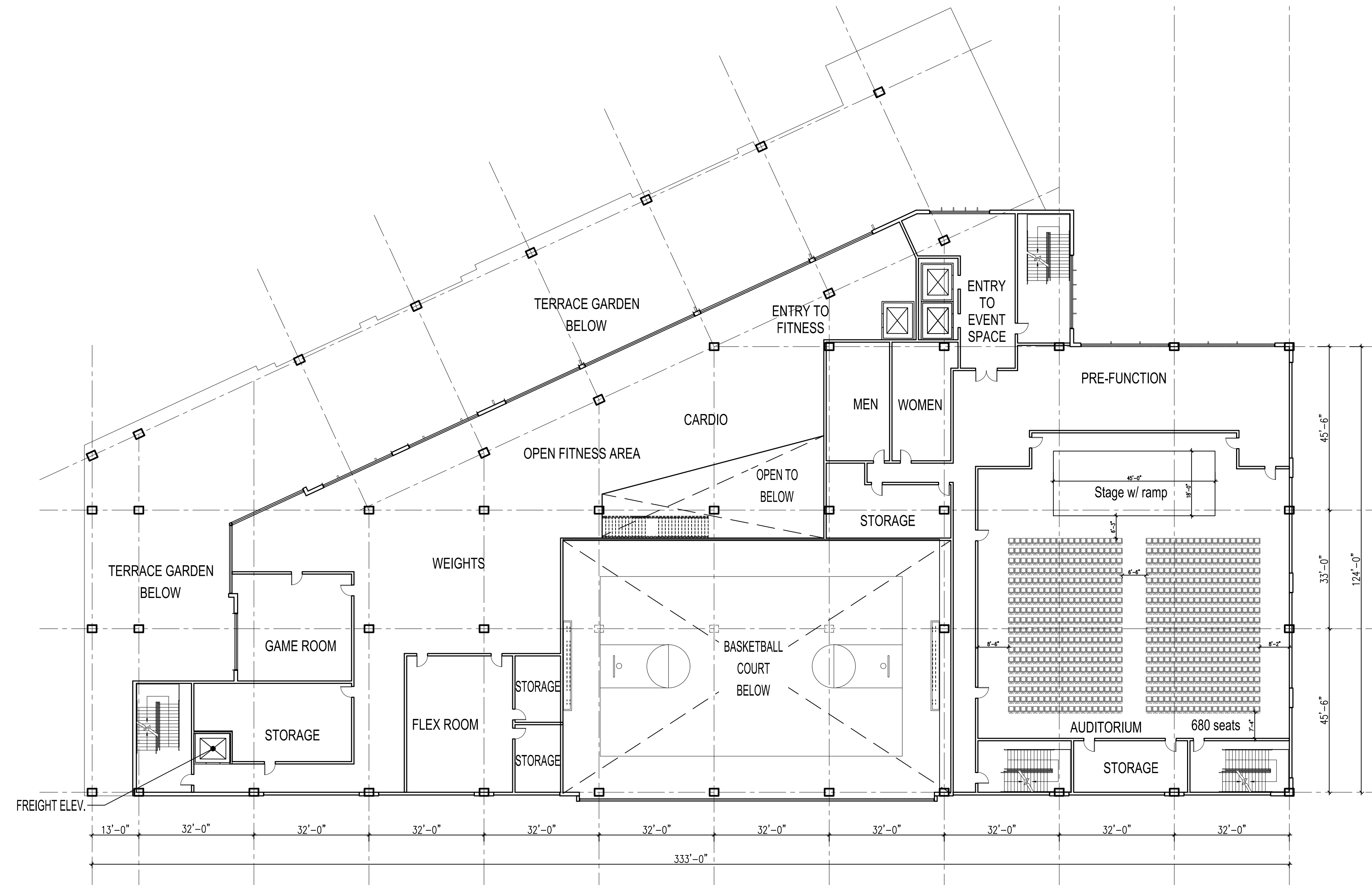
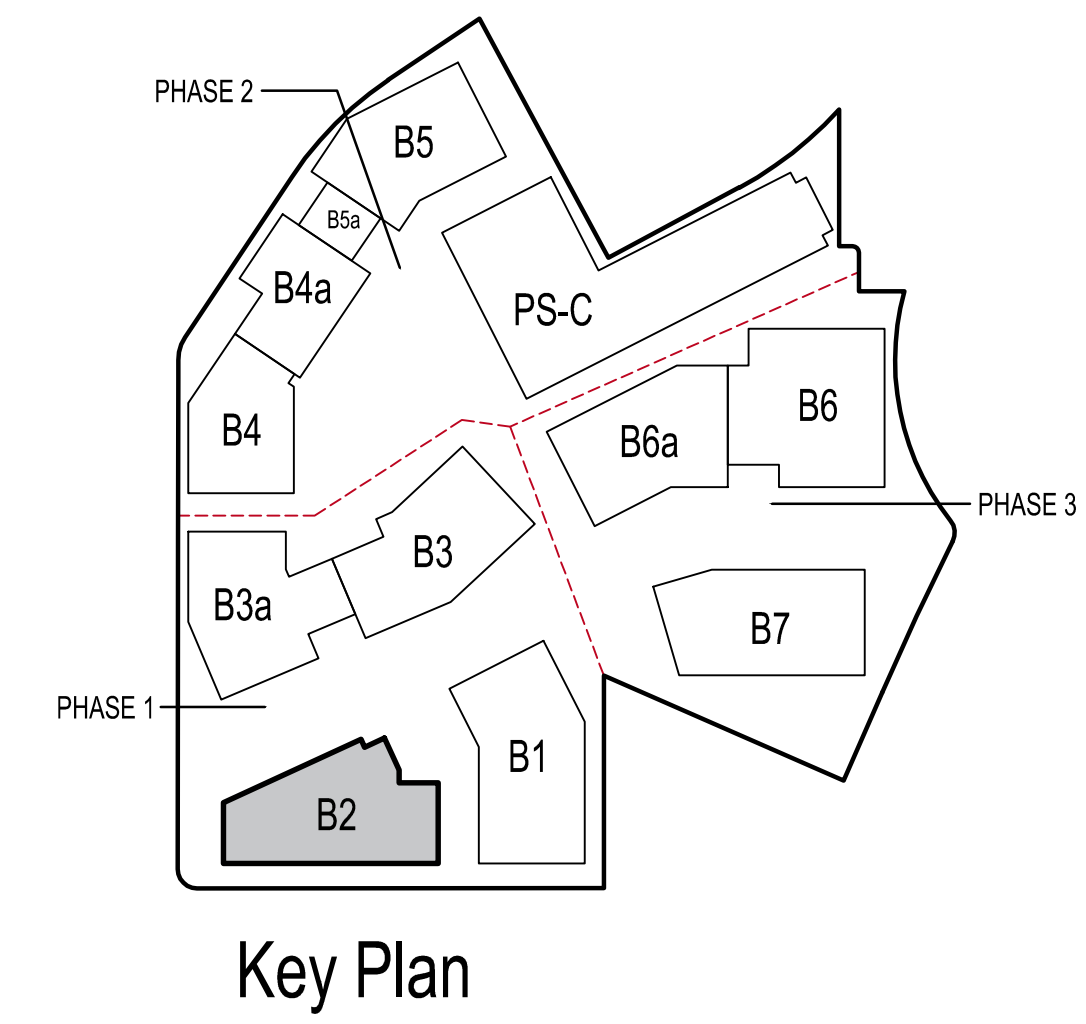
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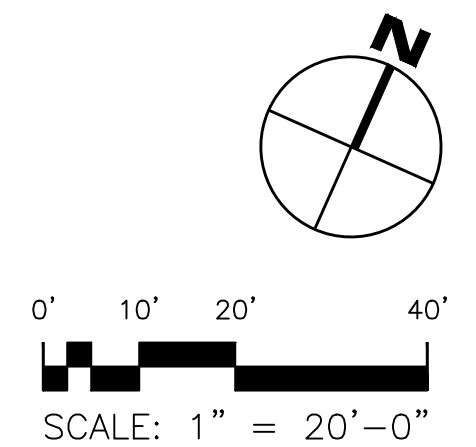
1 Building 2 Amenities: Floor Plan Level 3
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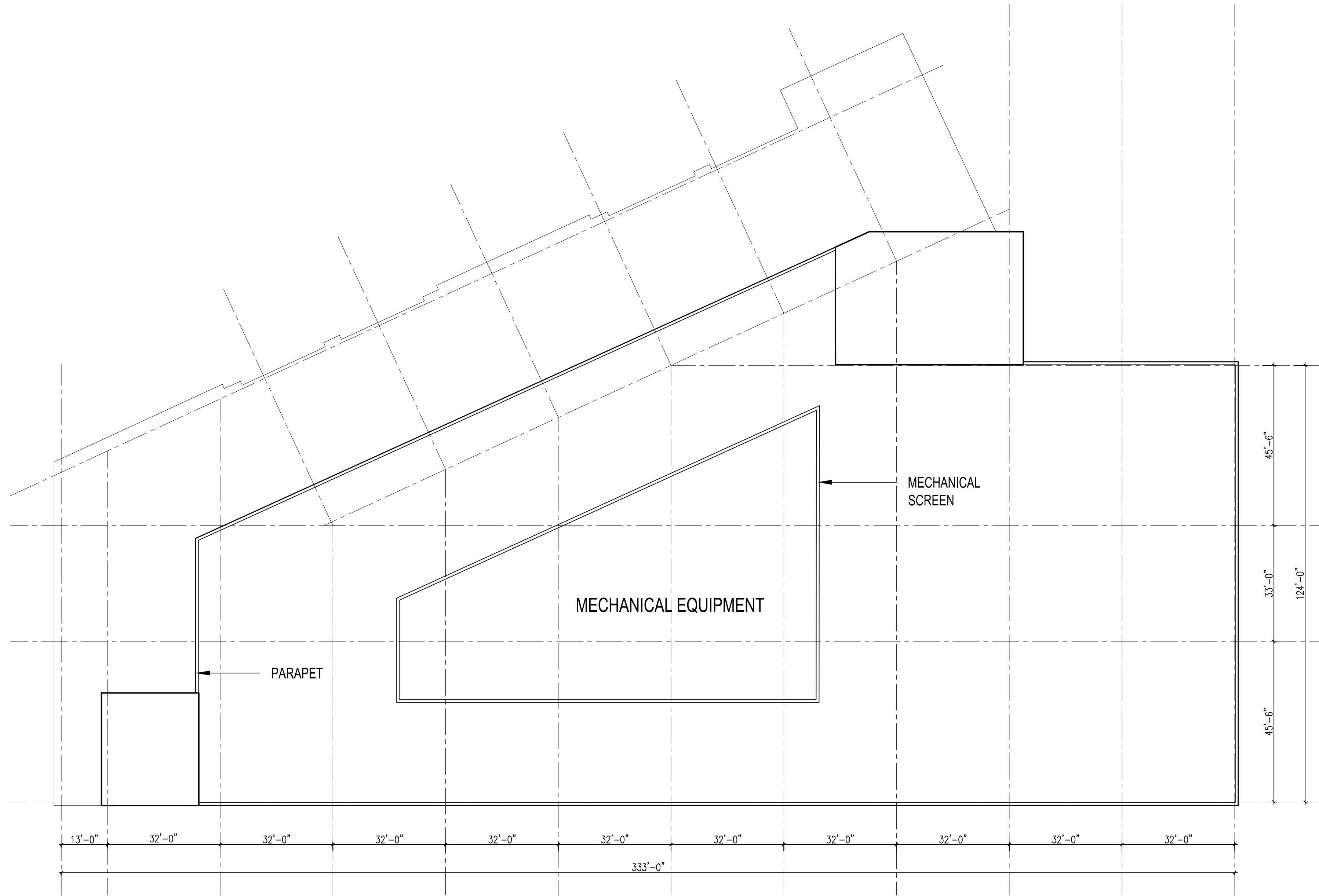
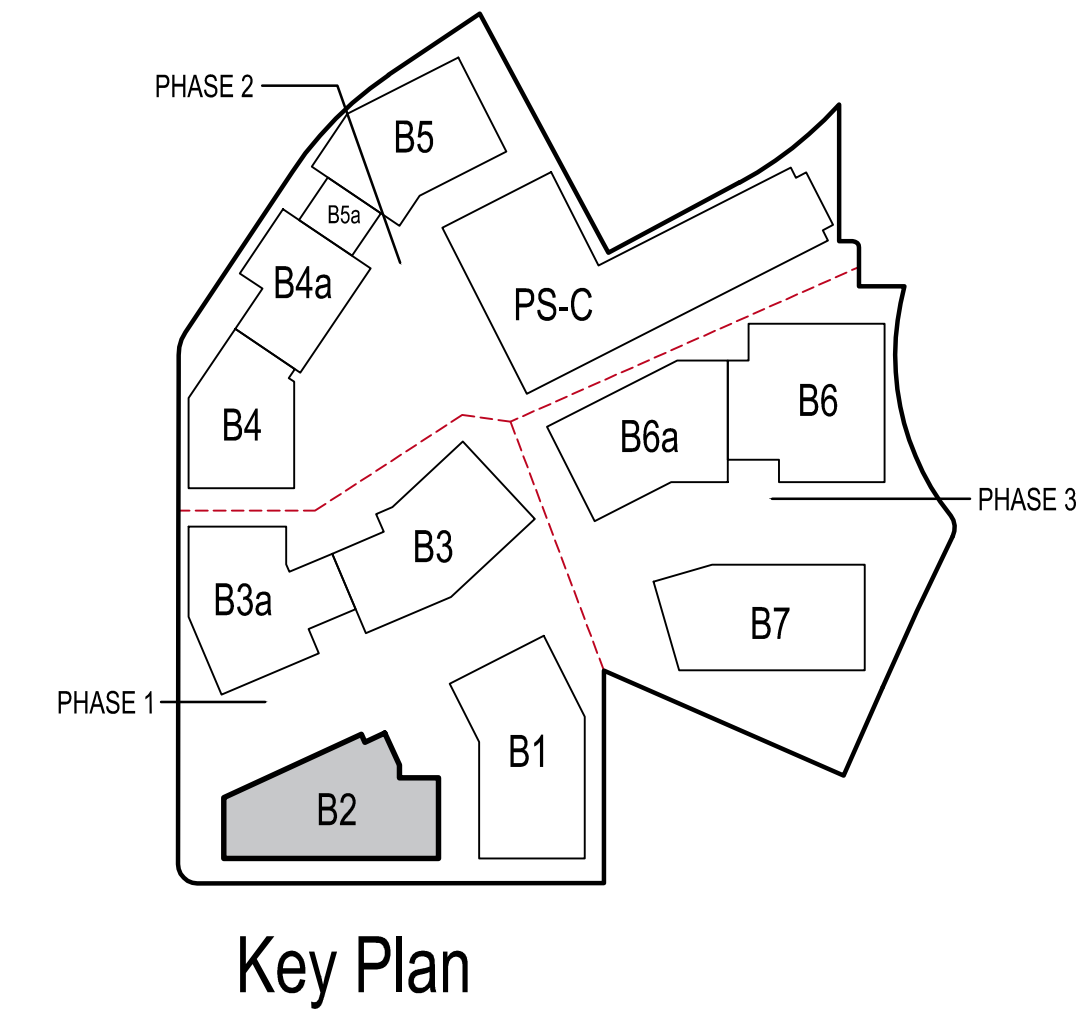
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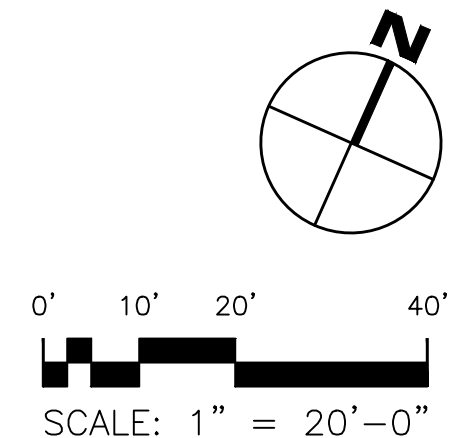
1 Building 2 Amenities: Floor Plan Level 4
1" = 20'-0"

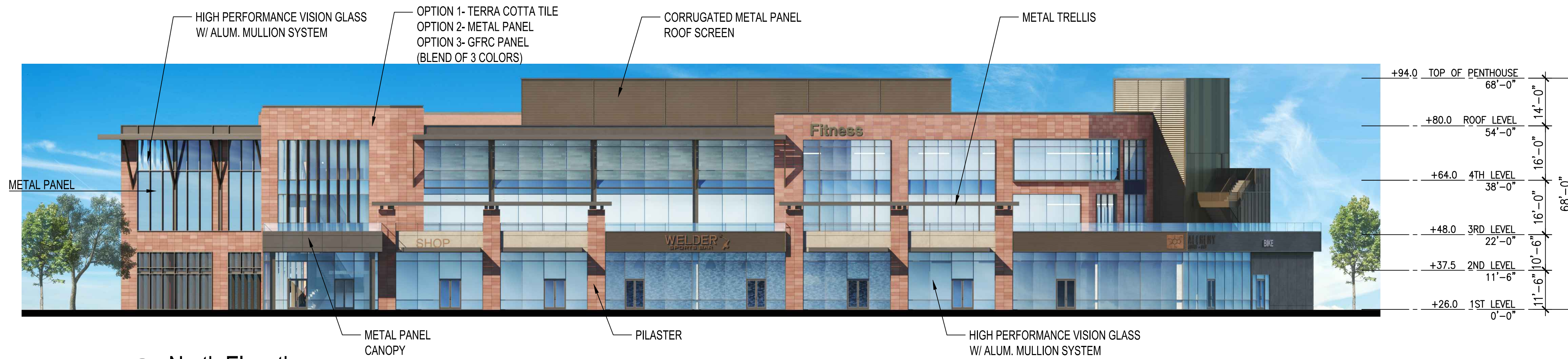


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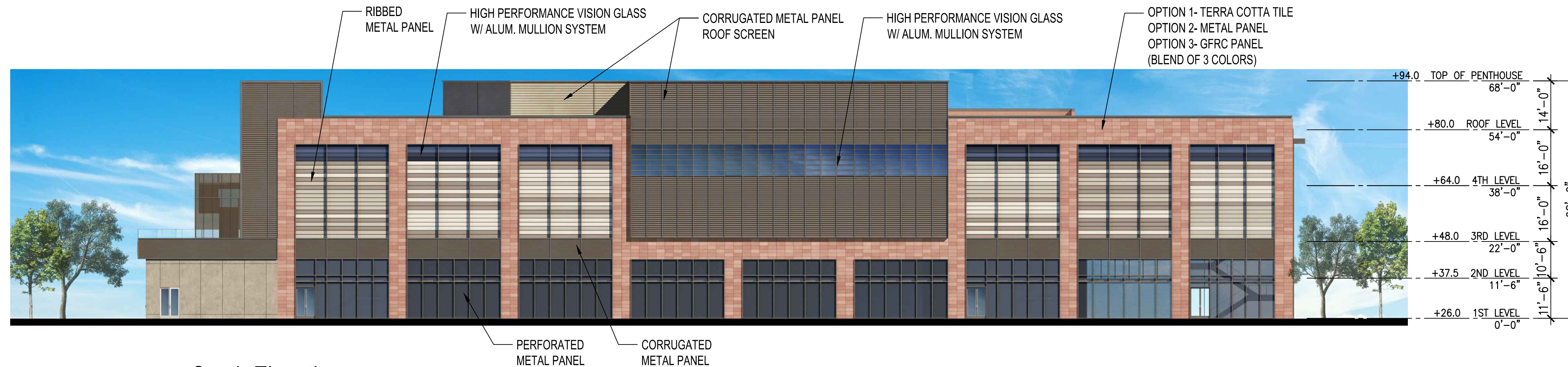


1 Building 2 Amenities: Roof Plan
1"=20'-0"

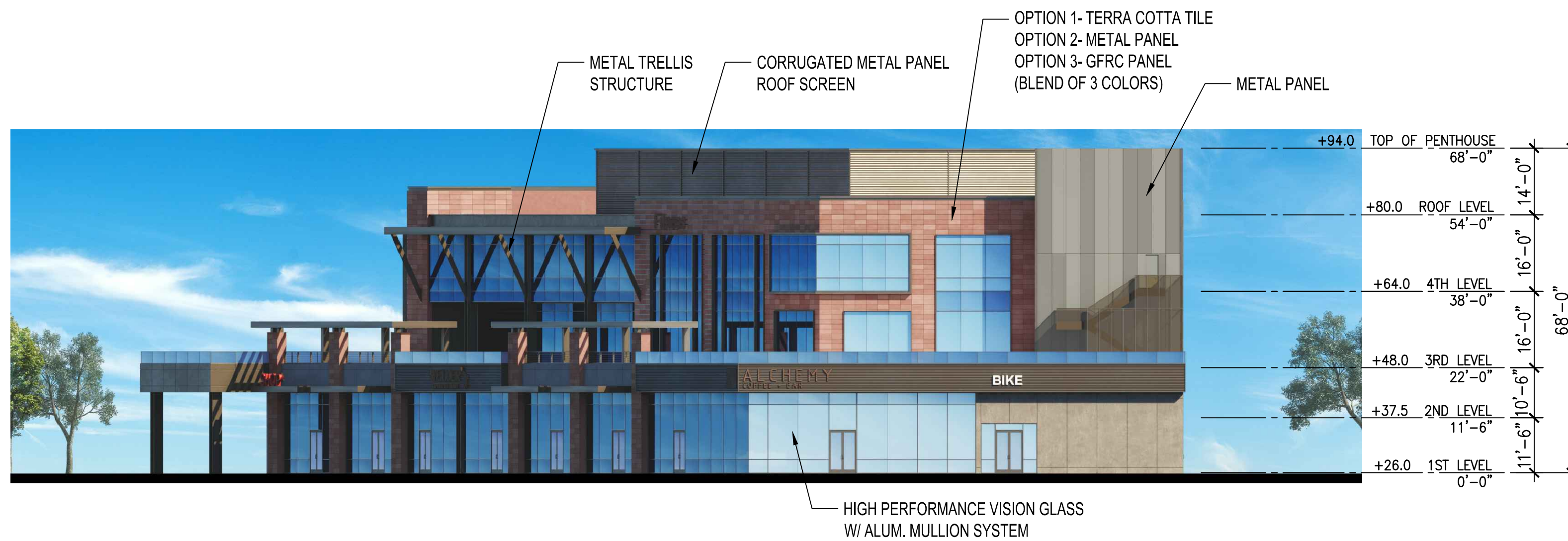




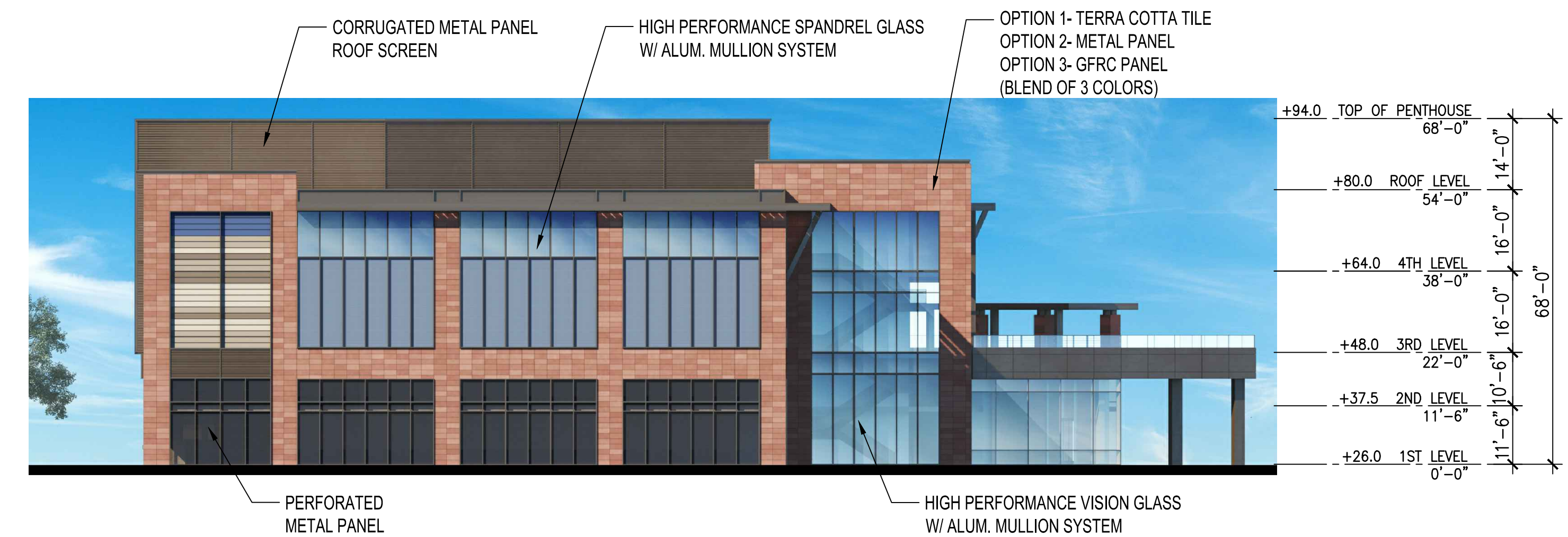
1 North Elevation
1" = 20'-0"



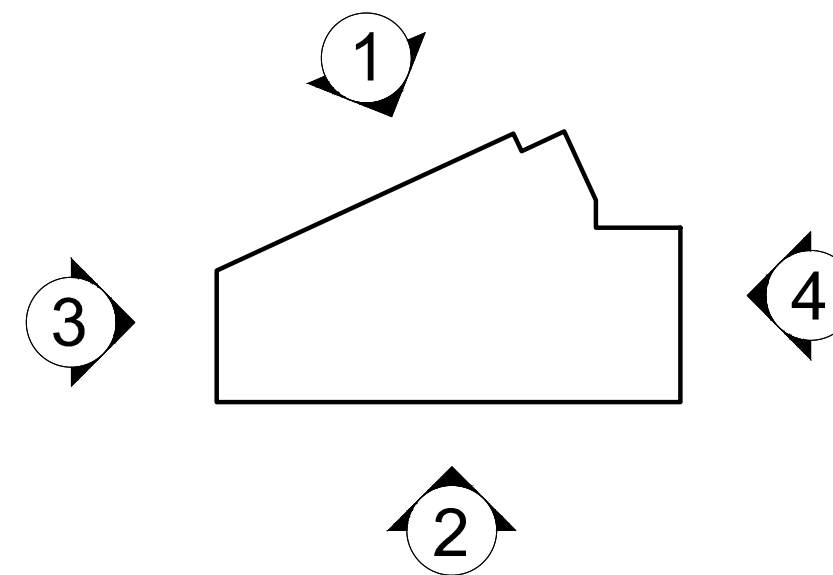
2 South Elevation
1" = 20'-0"



3 West Elevation
1" = 20'-0"

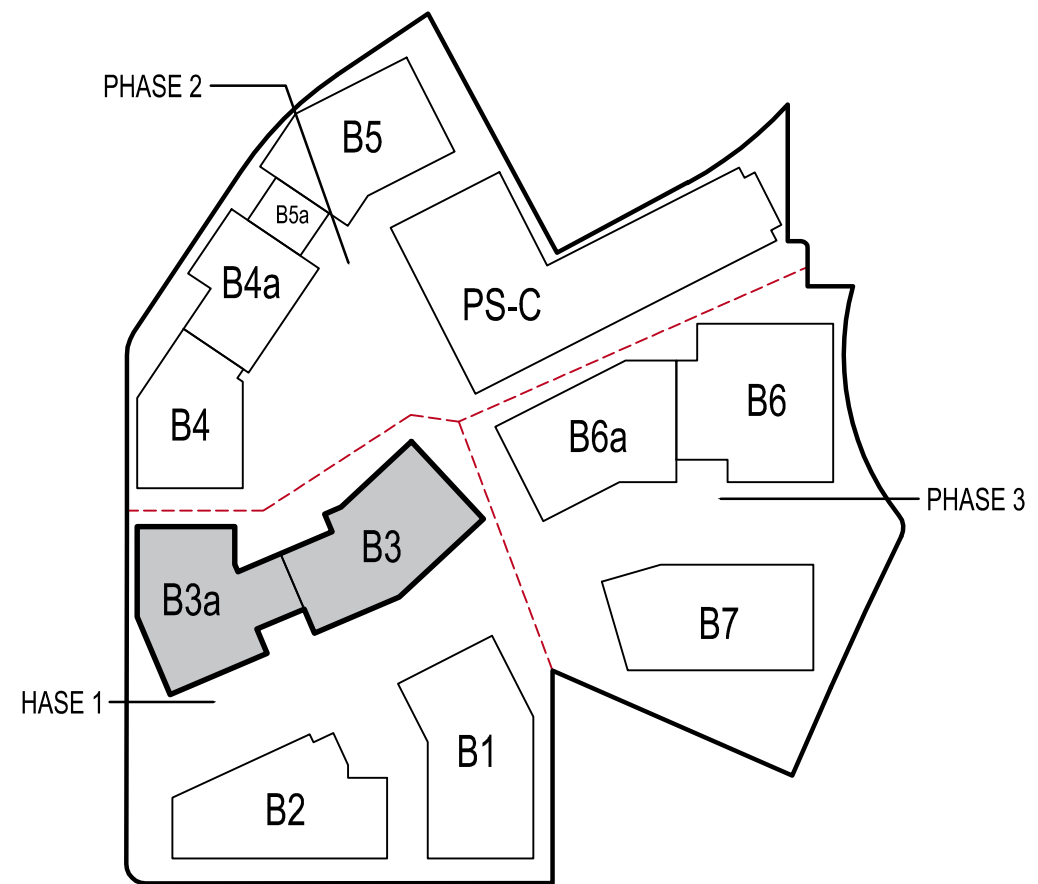
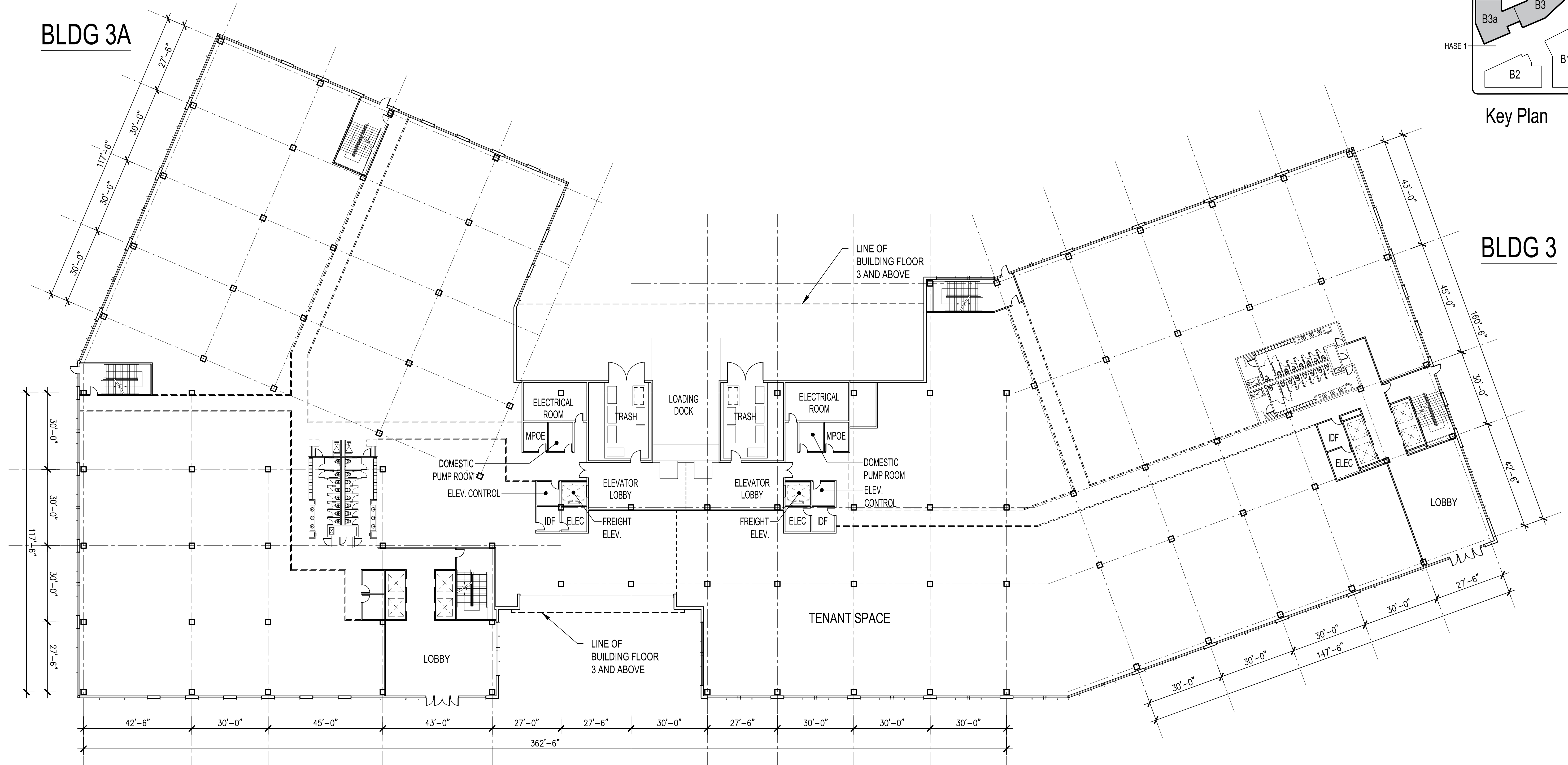


4 East Elevation
1" = 20'-0"



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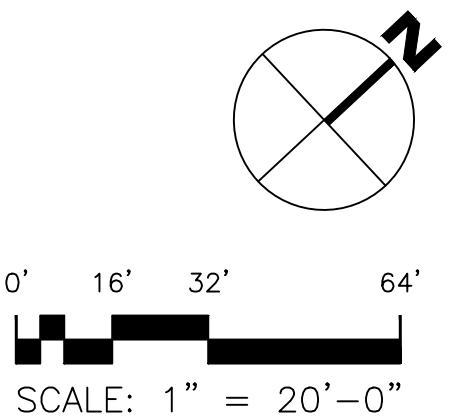
BLDG 3A



Key Plan

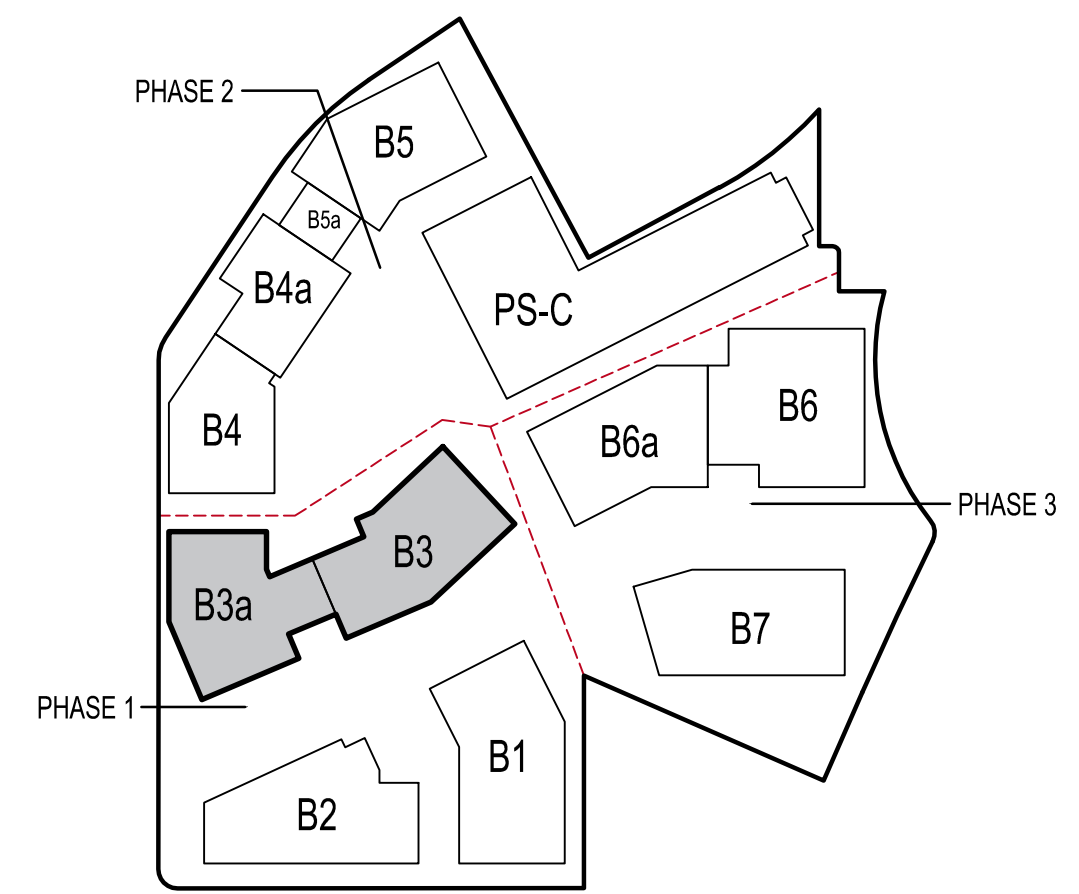
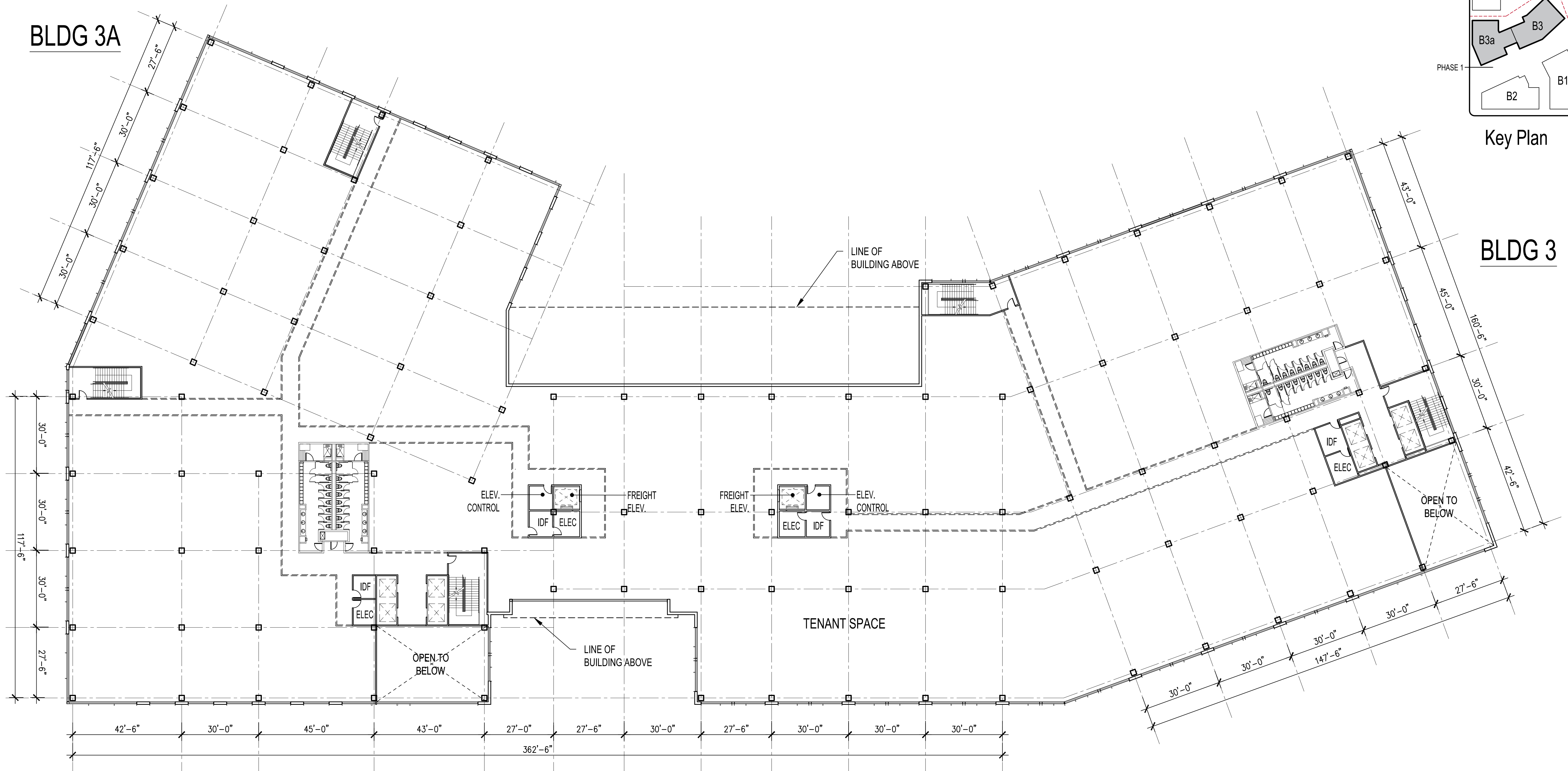
BLDG 3

1 Building 3 and 3A: Floor Plan Level 1
1" = 20'-0"



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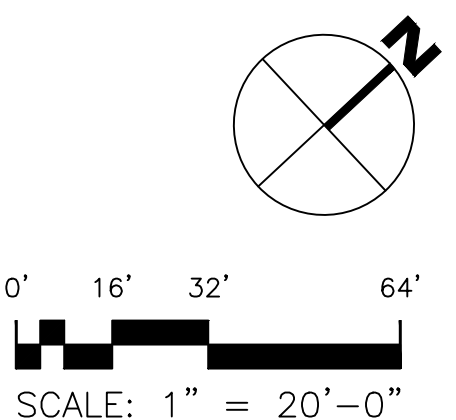
BLDG 3A



Key Plan

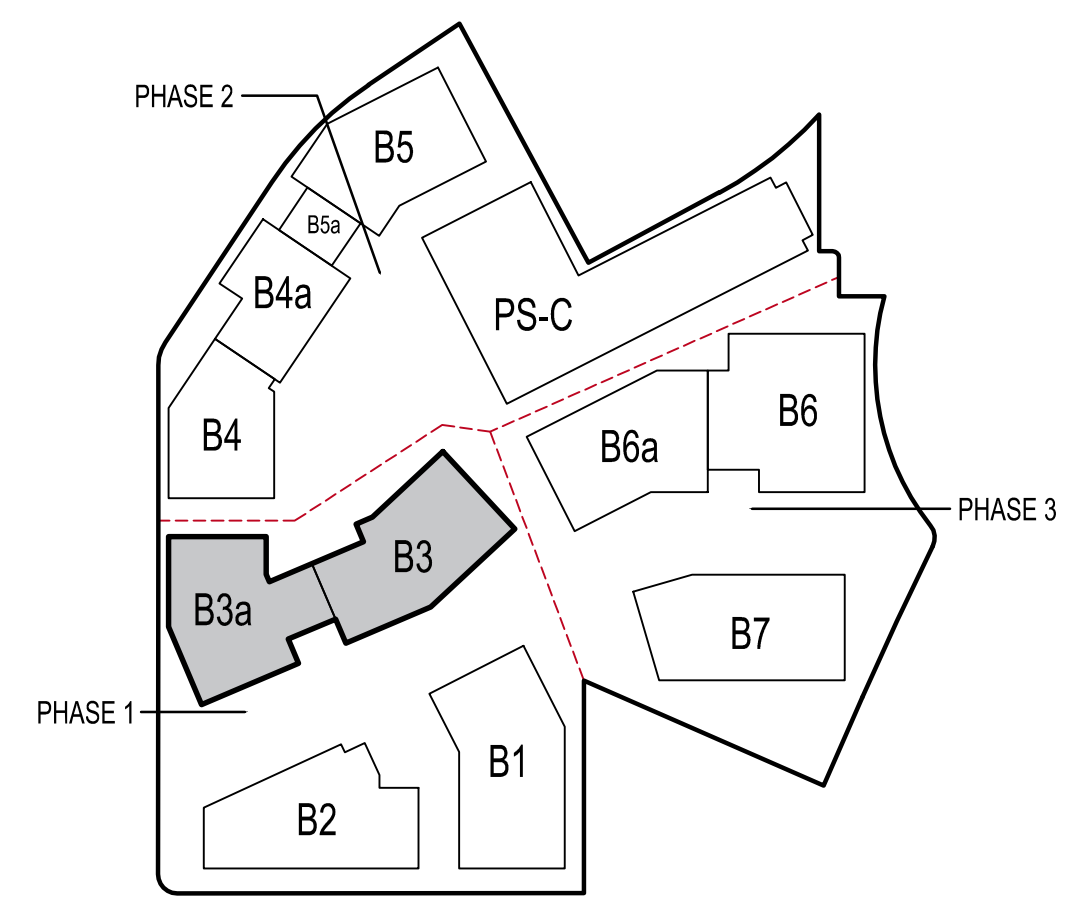
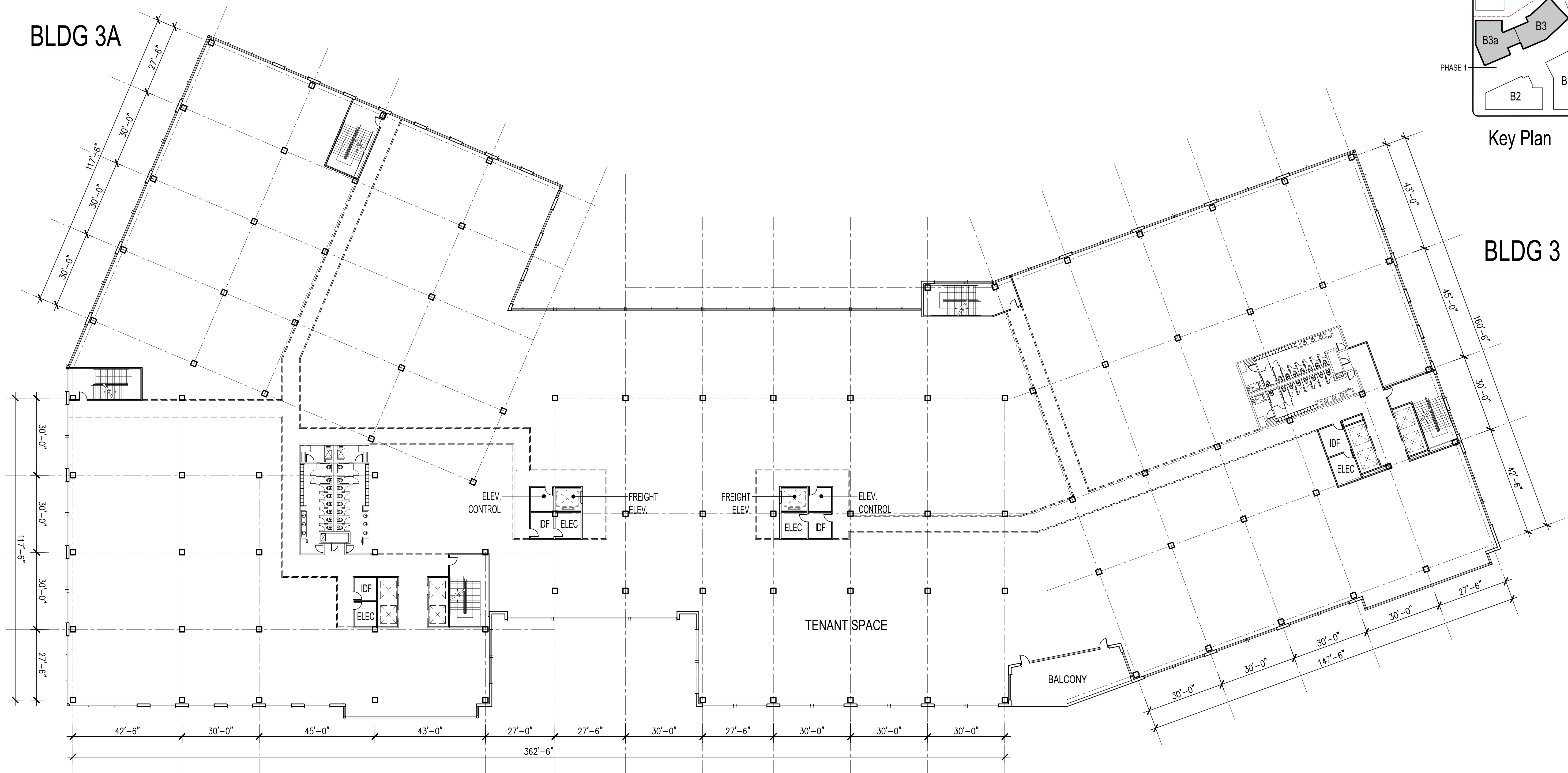
BLDG 3

1 Building 3 and 3A: Floor Plan Level 2
1" = 20'-0"



Nov. 04, 2019 - 3:48pm A:\04 - 2019 - 3:48pm P:\LanePartners\Southline\A13.0\B3 floor plans_roof plan.dwg

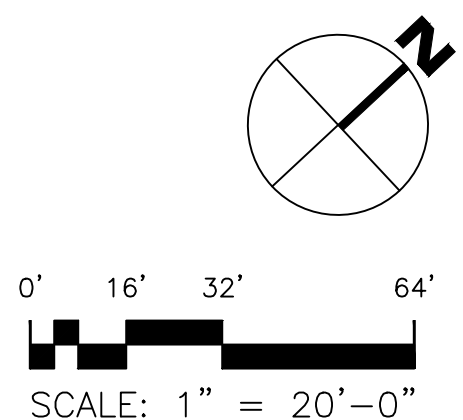
BLDG 3A



Key Plan

BLDG 3

1 Building 3 and 3A: Floor Plan Level 4
1" = 20'-0"



DES
ARCHITECTS
ENGINEERS

LANE PARTNERS

Building 3 and 3A - Level 4 Floor Plan

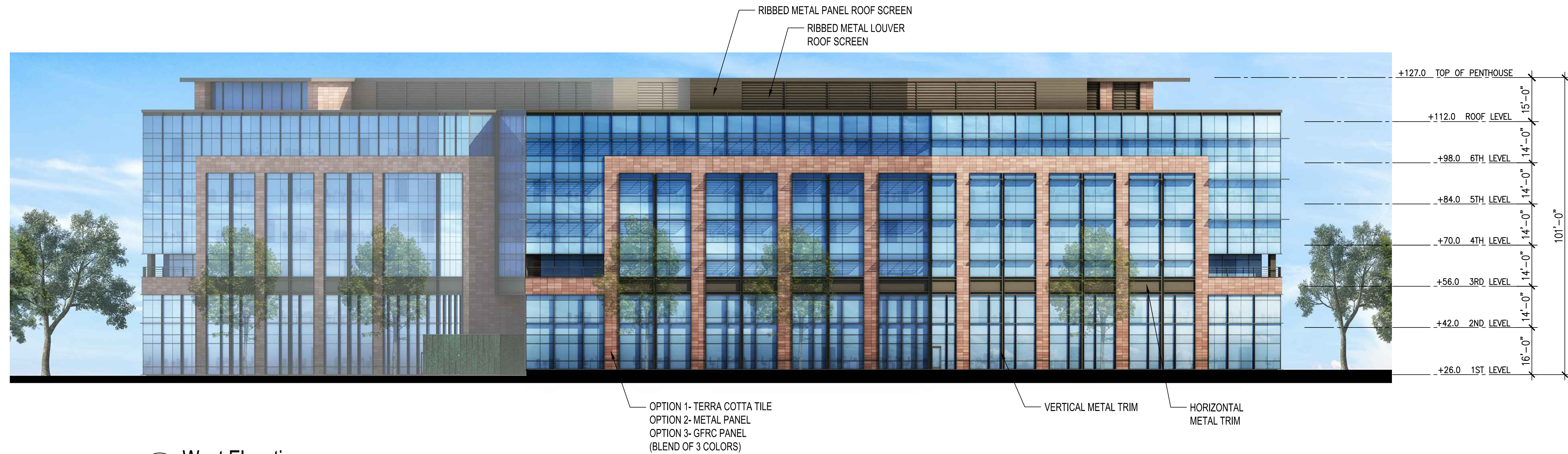
SOUTHLINE
Planning Re-Submittal 11.01.2019

A13.3

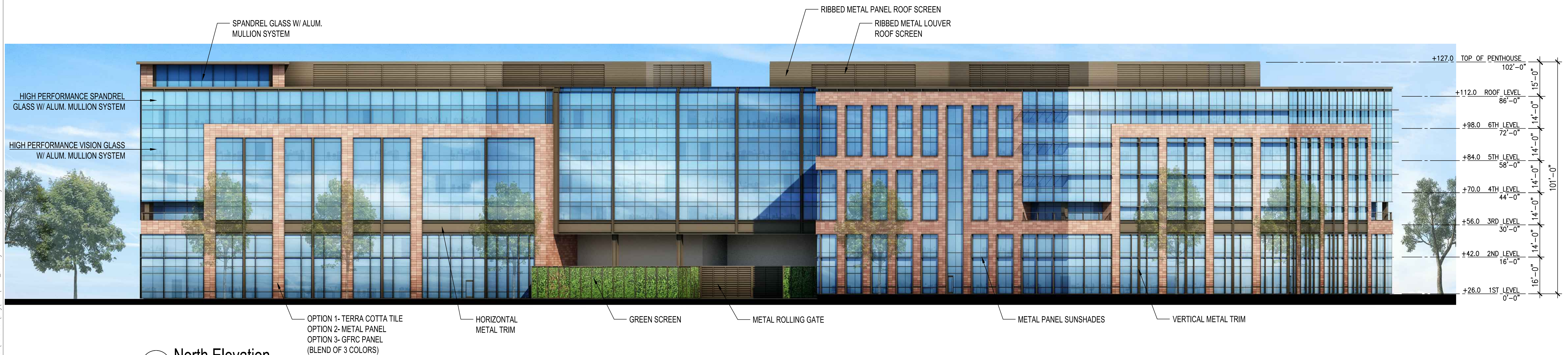
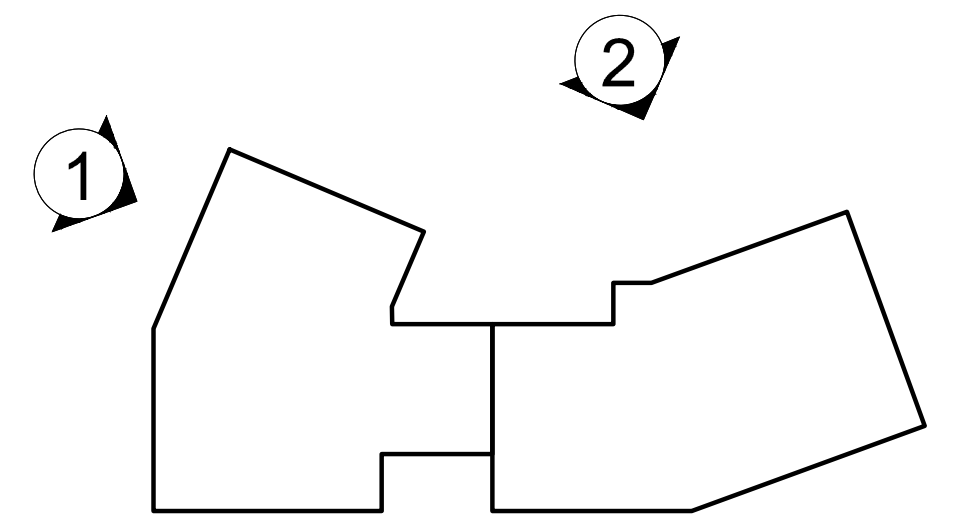
Project Number: 10154.001

© 2019

Nov. 04, 2019 - 3:44pm A:\hou P:\LanePartners\Southline\A14\A14.0_Building 3 and 3A Elevations.dwg



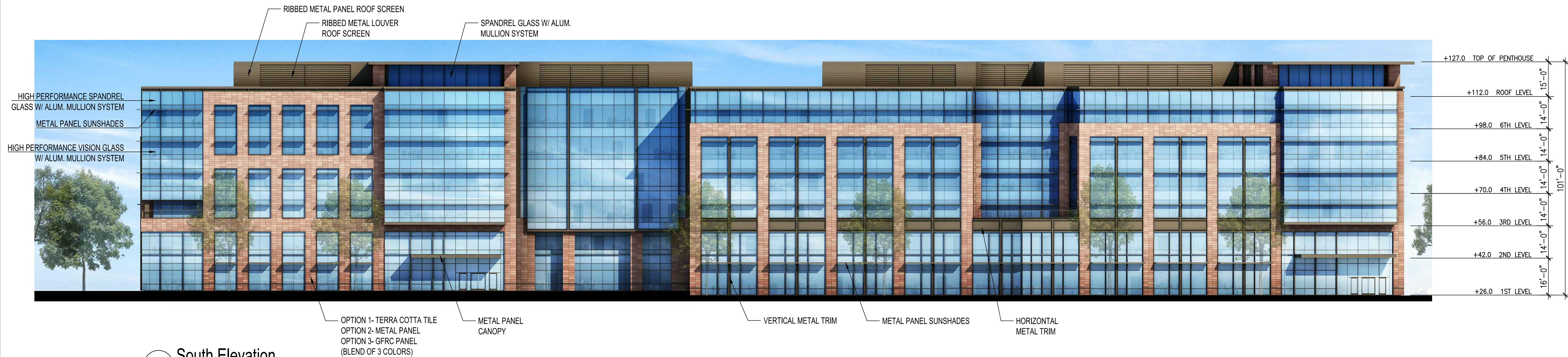
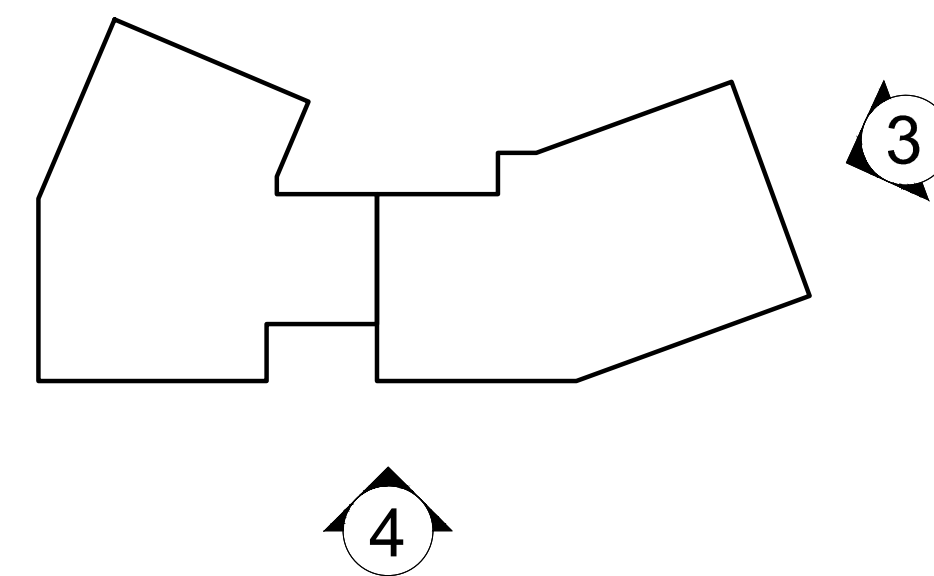
1 West Elevation
1" = 20'-0"



2 North Elevation
1" = 20'-0"

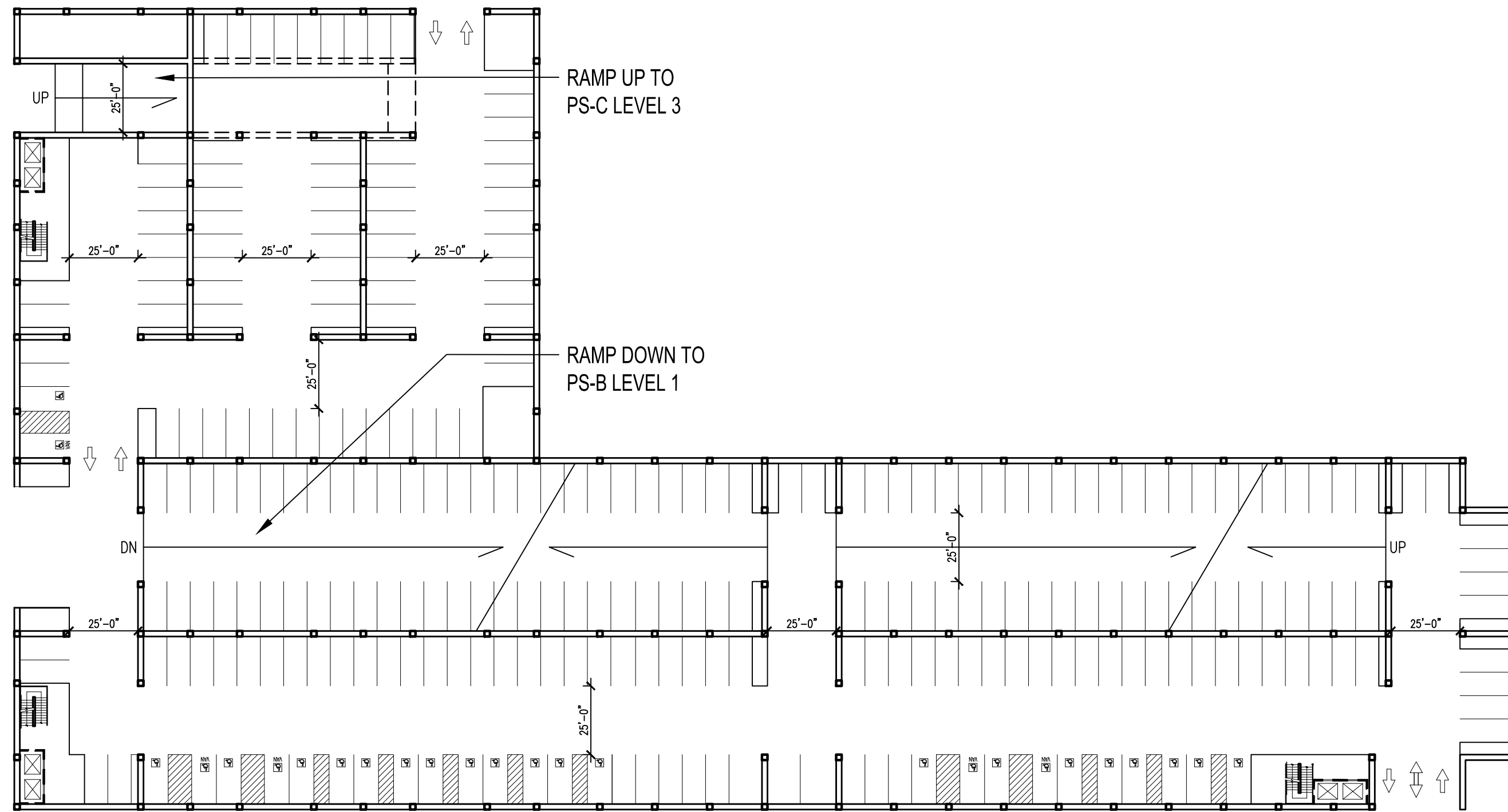


3 East Elevation
1" = 20'-0"

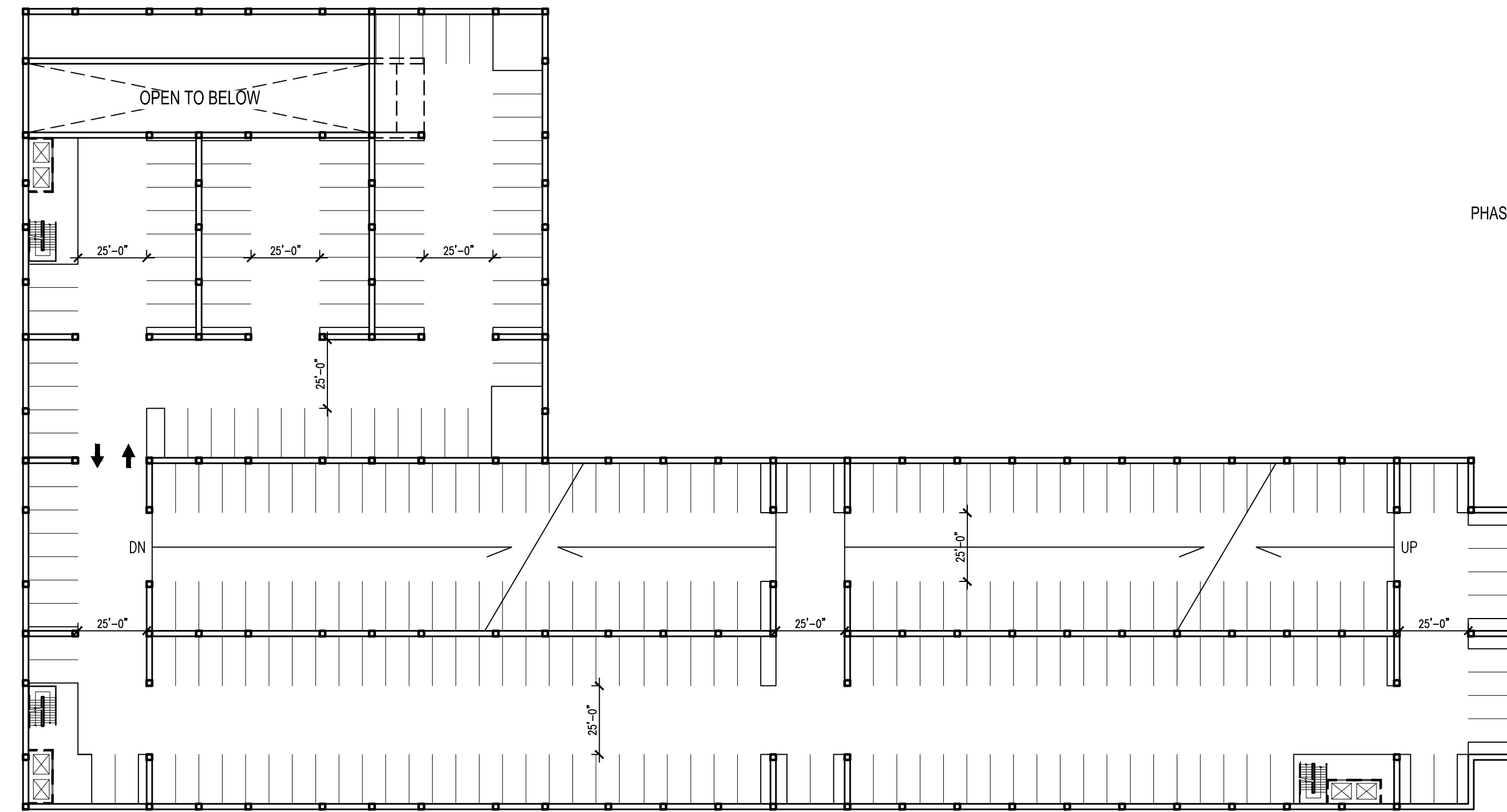


4 South Elevation
1" = 20'-0"

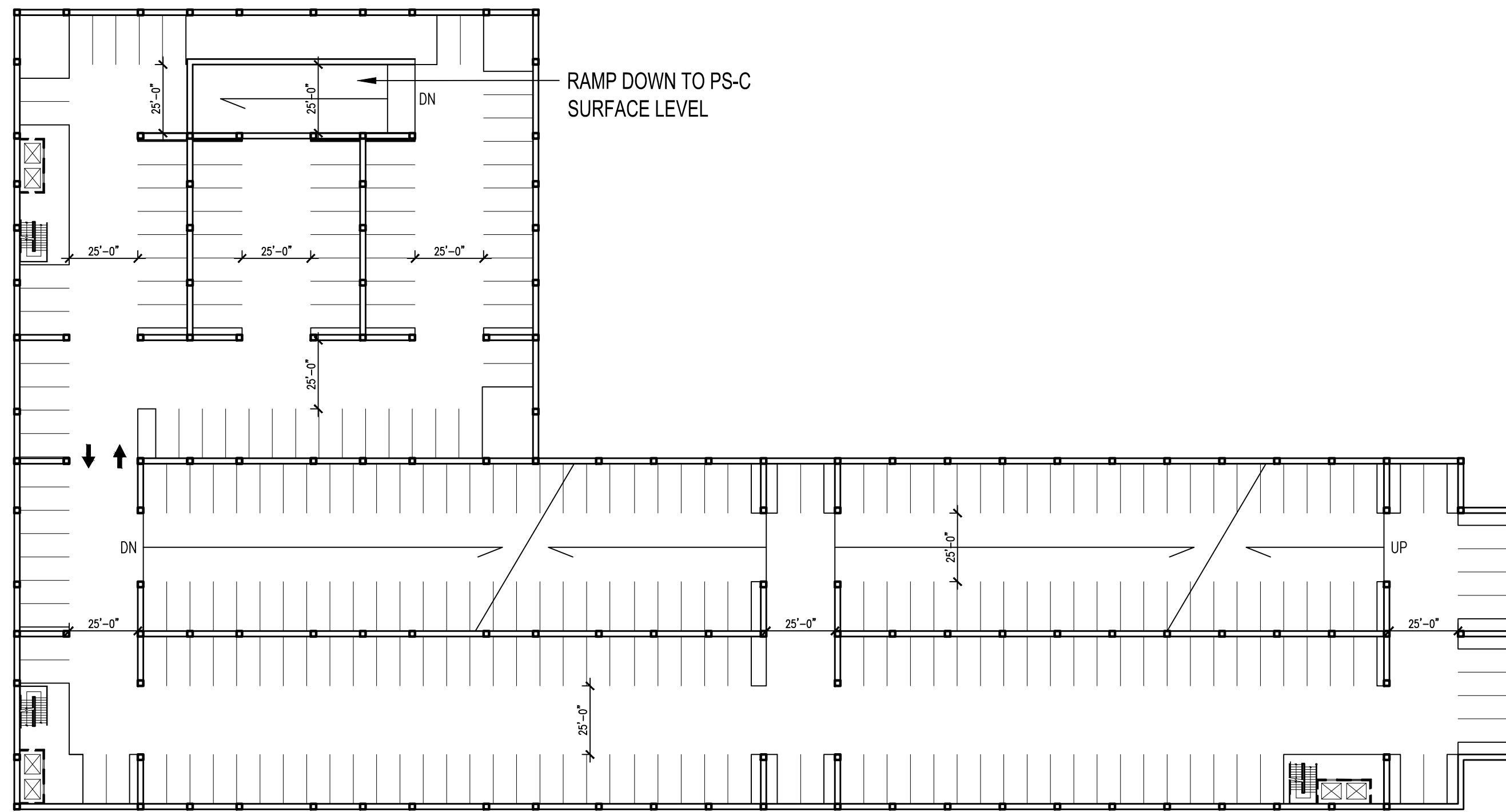
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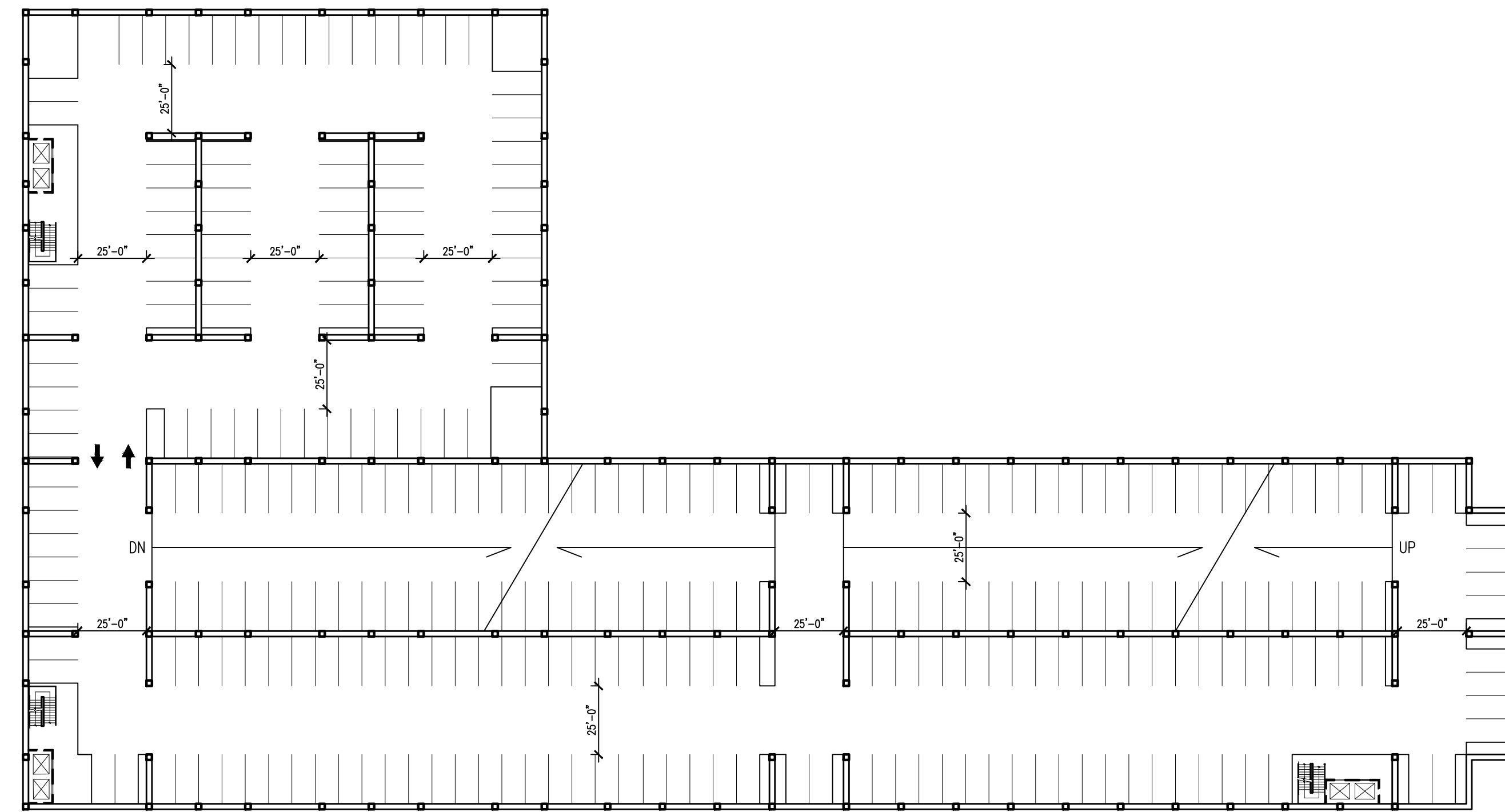
1 PS-C: Surface Level Phase 2
1" = 40'-0"



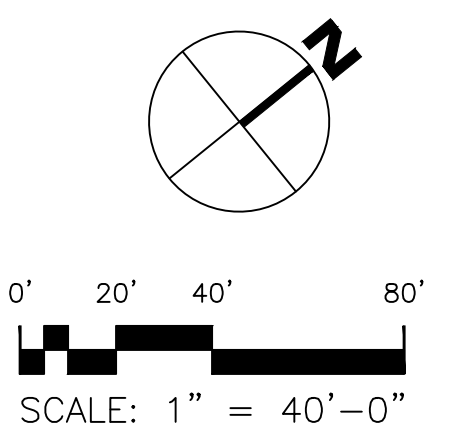
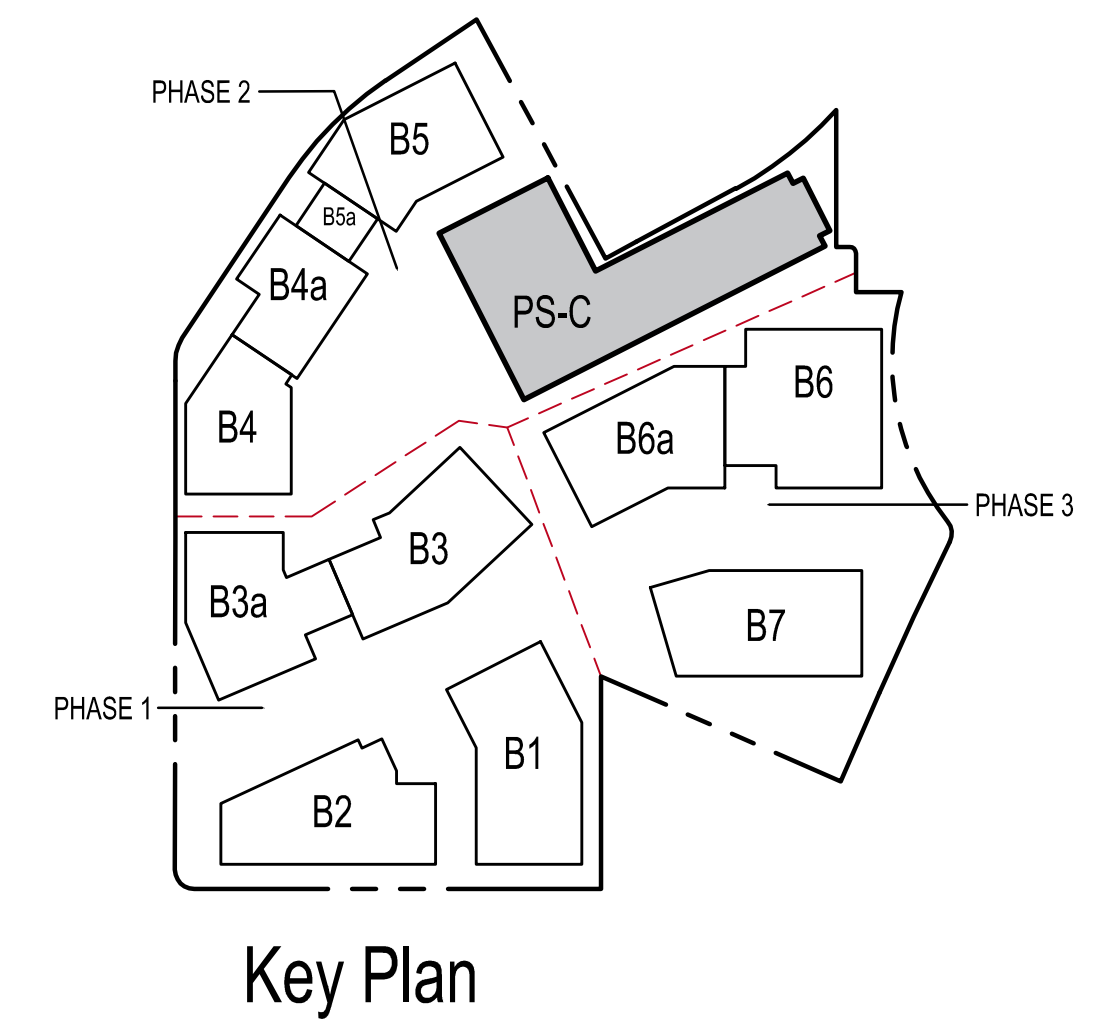
2 PS-C: Level 2 Phase 2
1" = 40'-0"

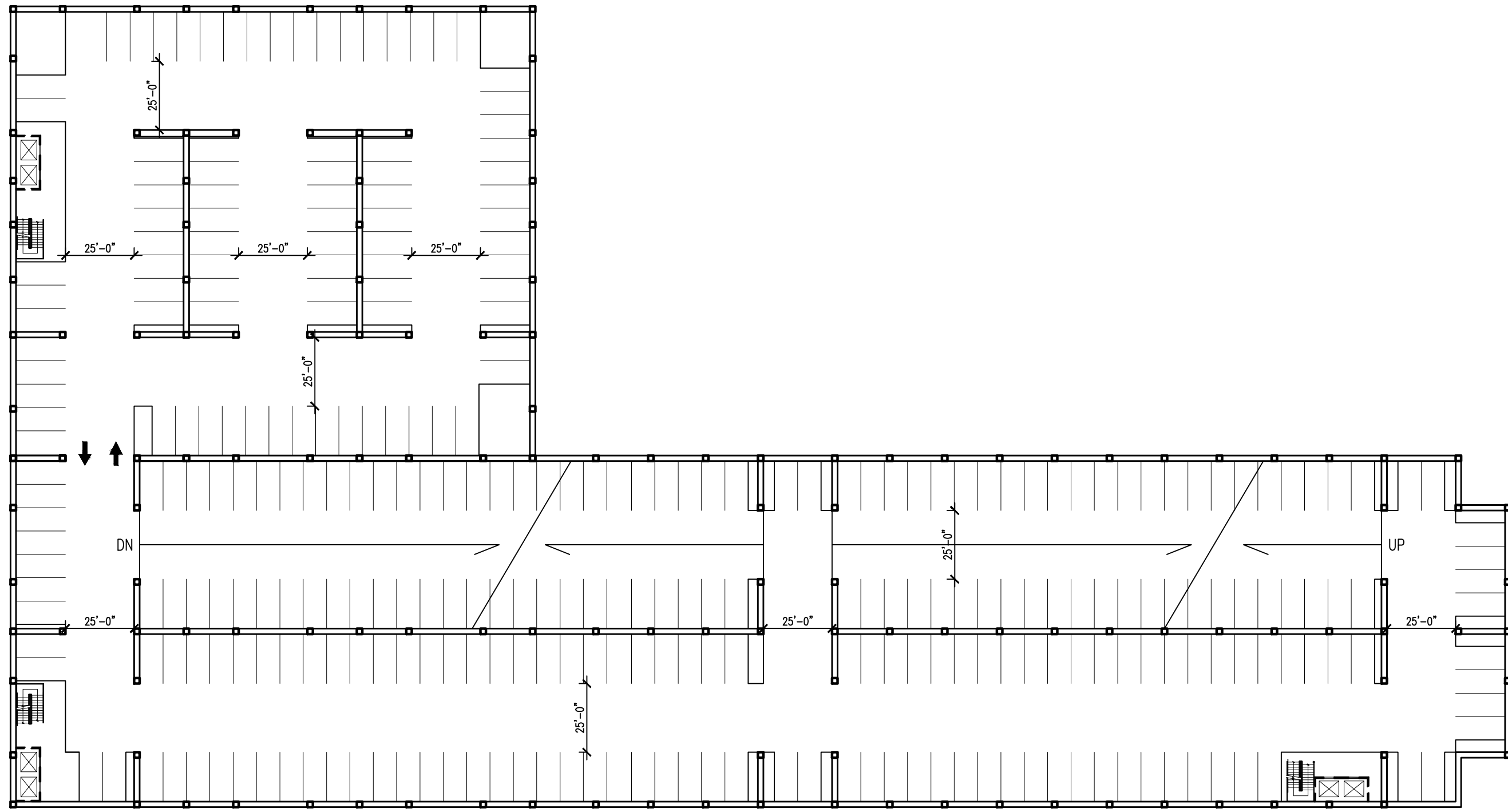


3 PS-C: Level 3 Phase 2
1" = 40'-0"

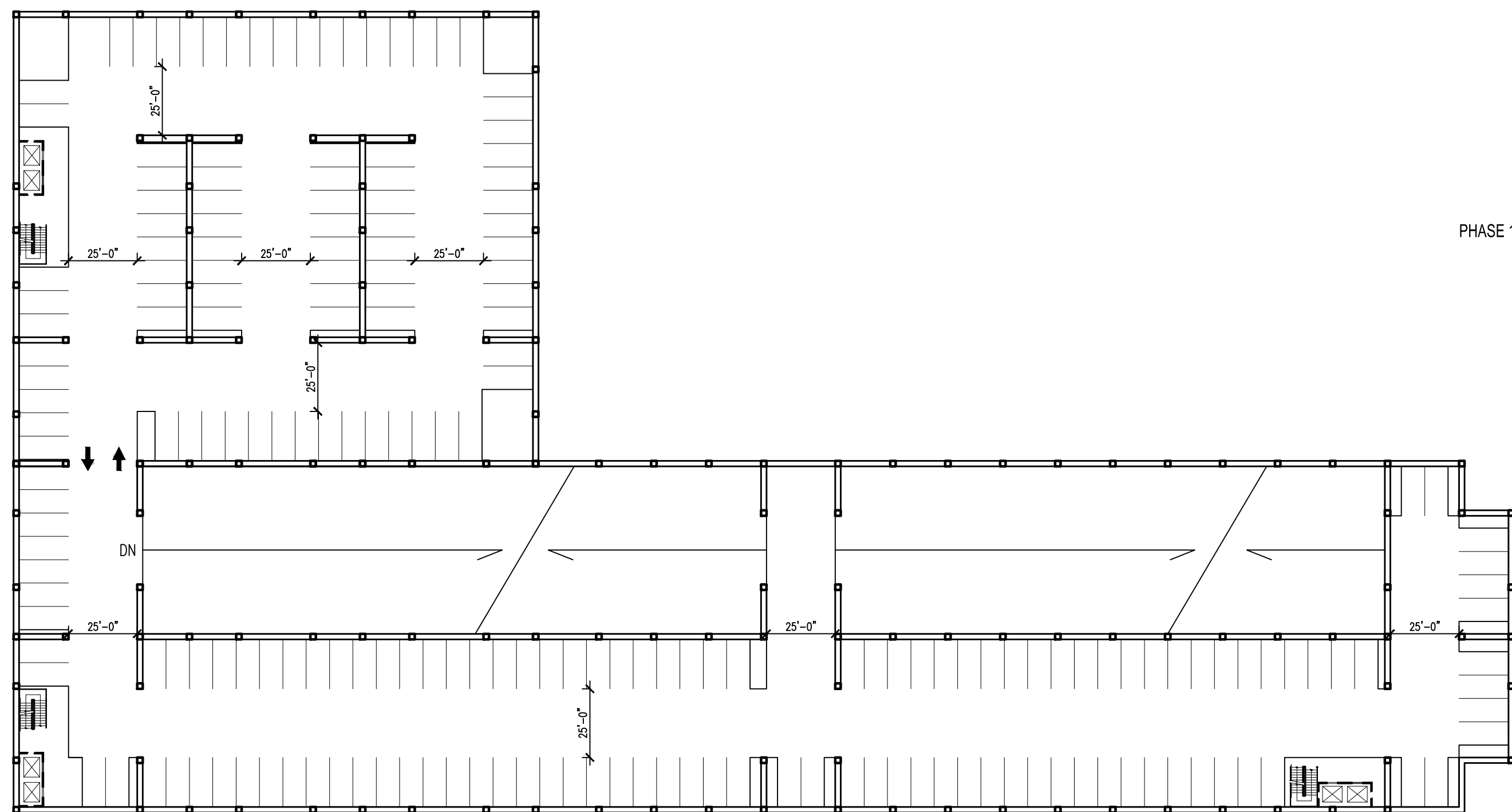


4 PS-C: Level 4 Phase 2
1" = 40'-0"

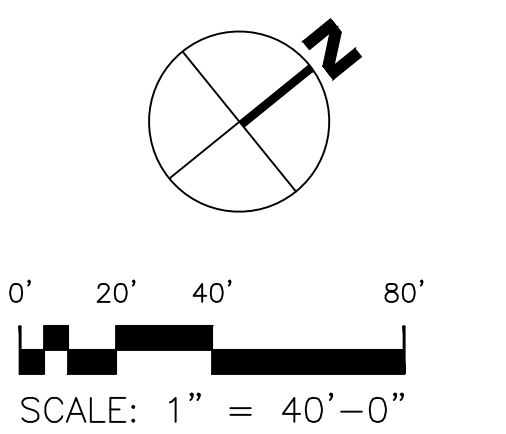
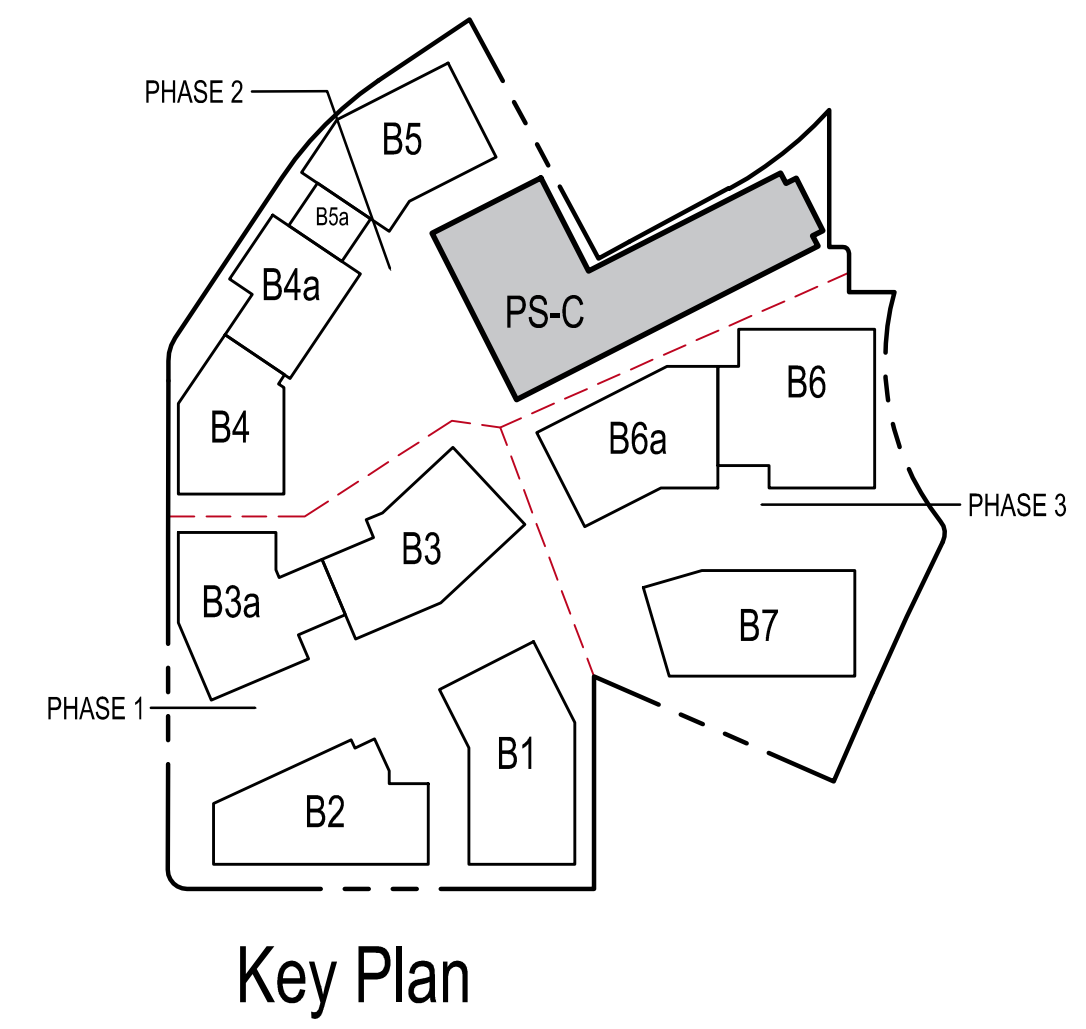


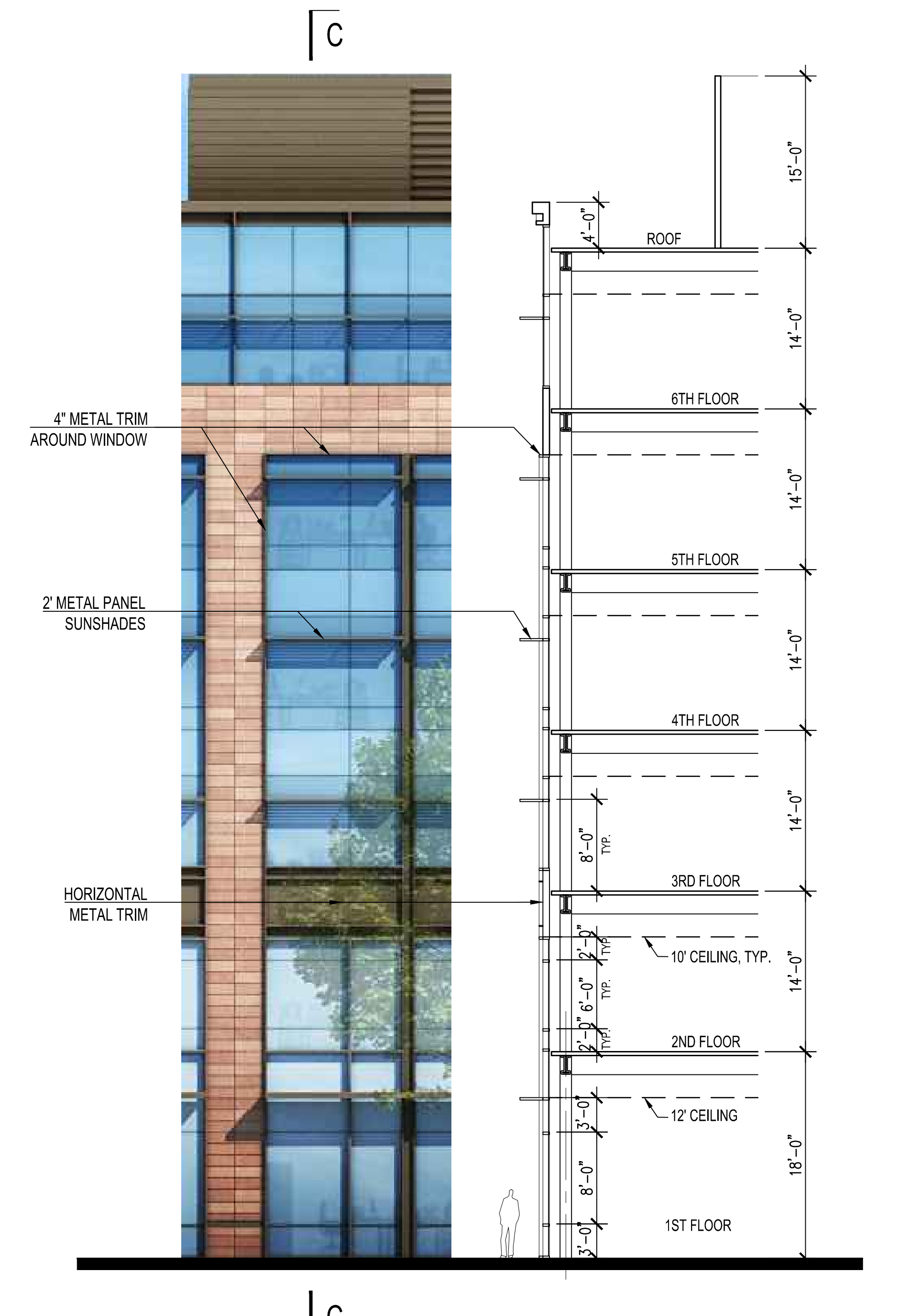
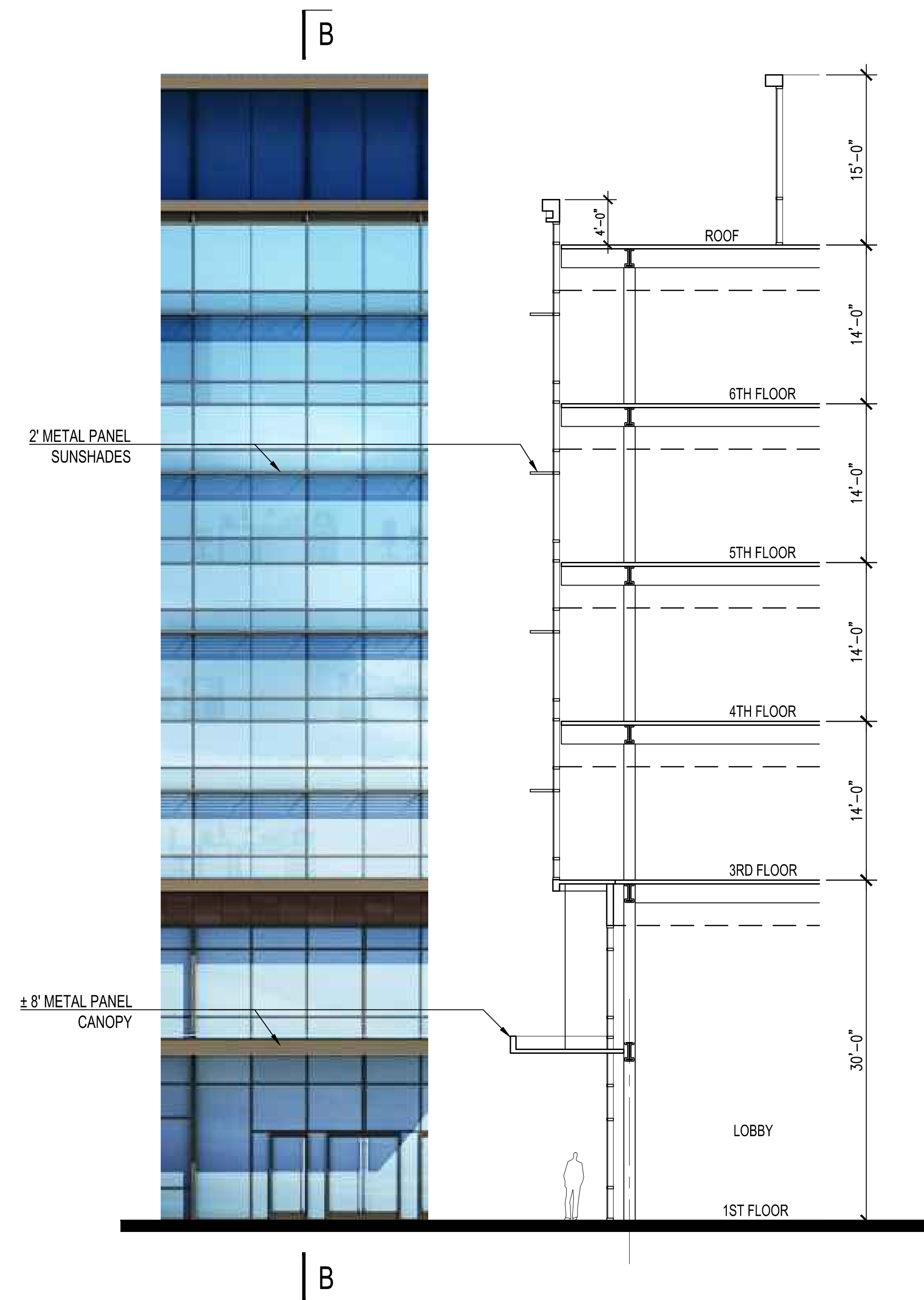
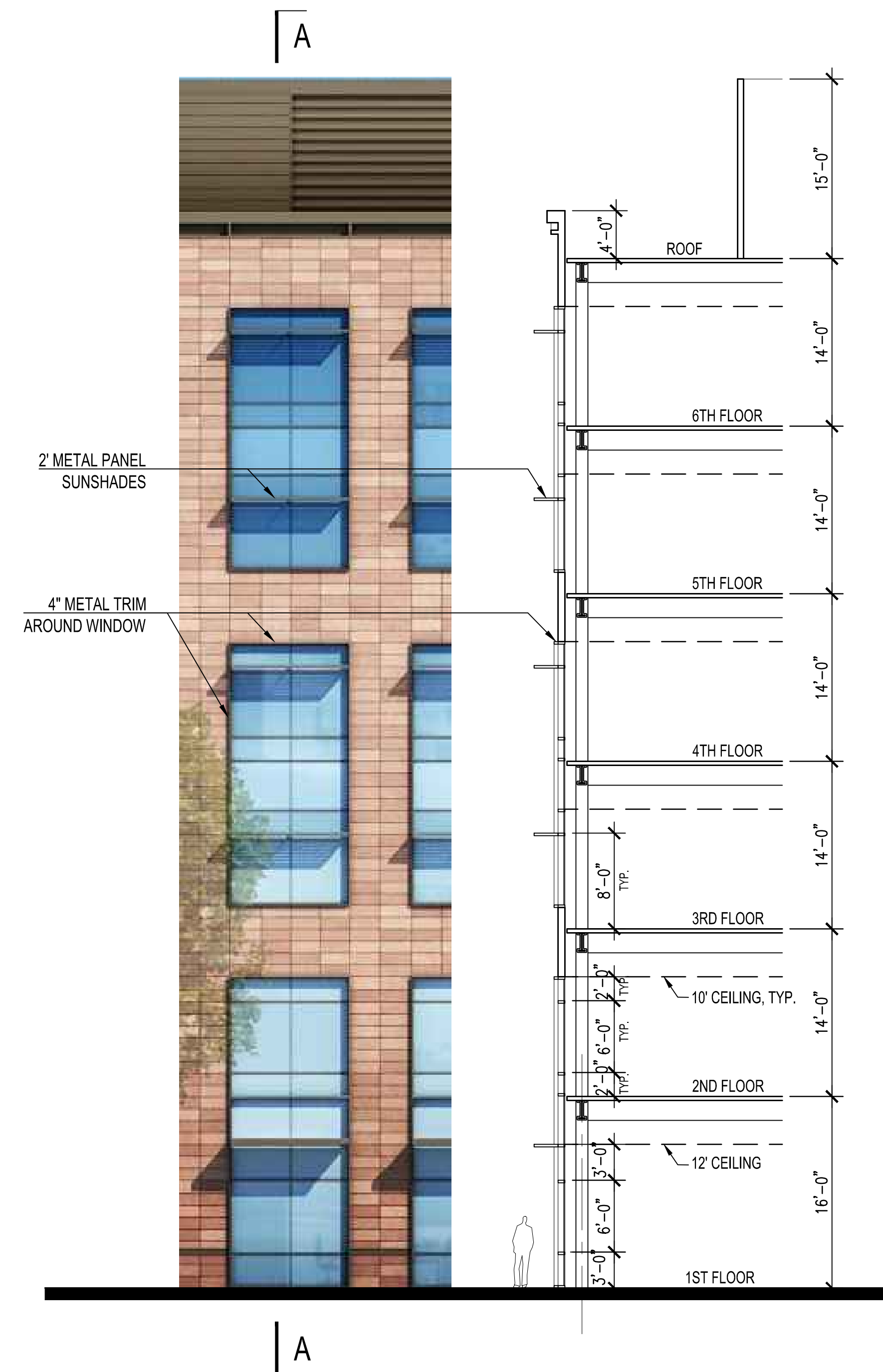


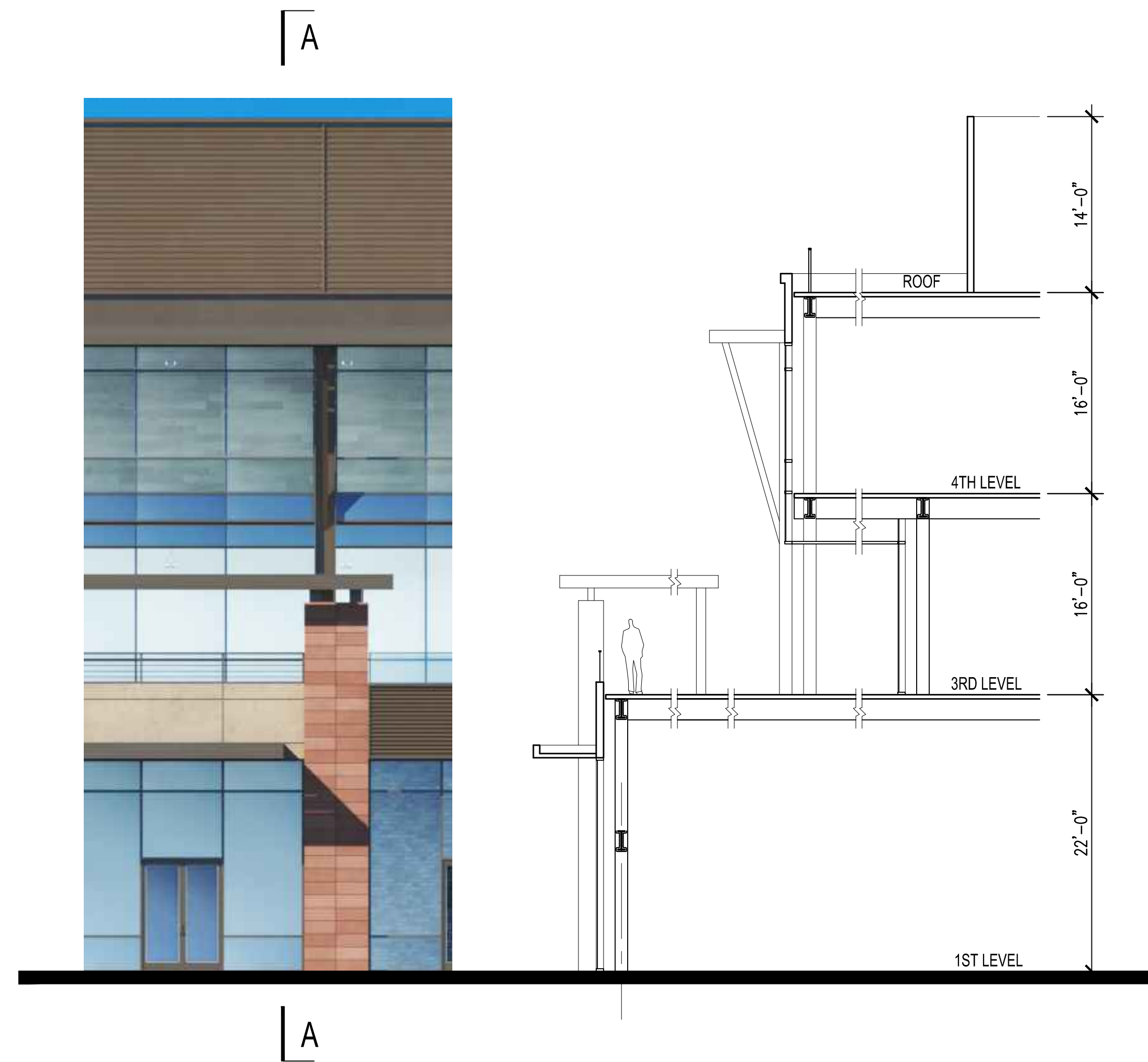
1 PS-C: Levels 5 thru 8 Phase 3
1" = 40'-0"



2 PS-C: Level 9 Phase 3
1" = 40'-0"







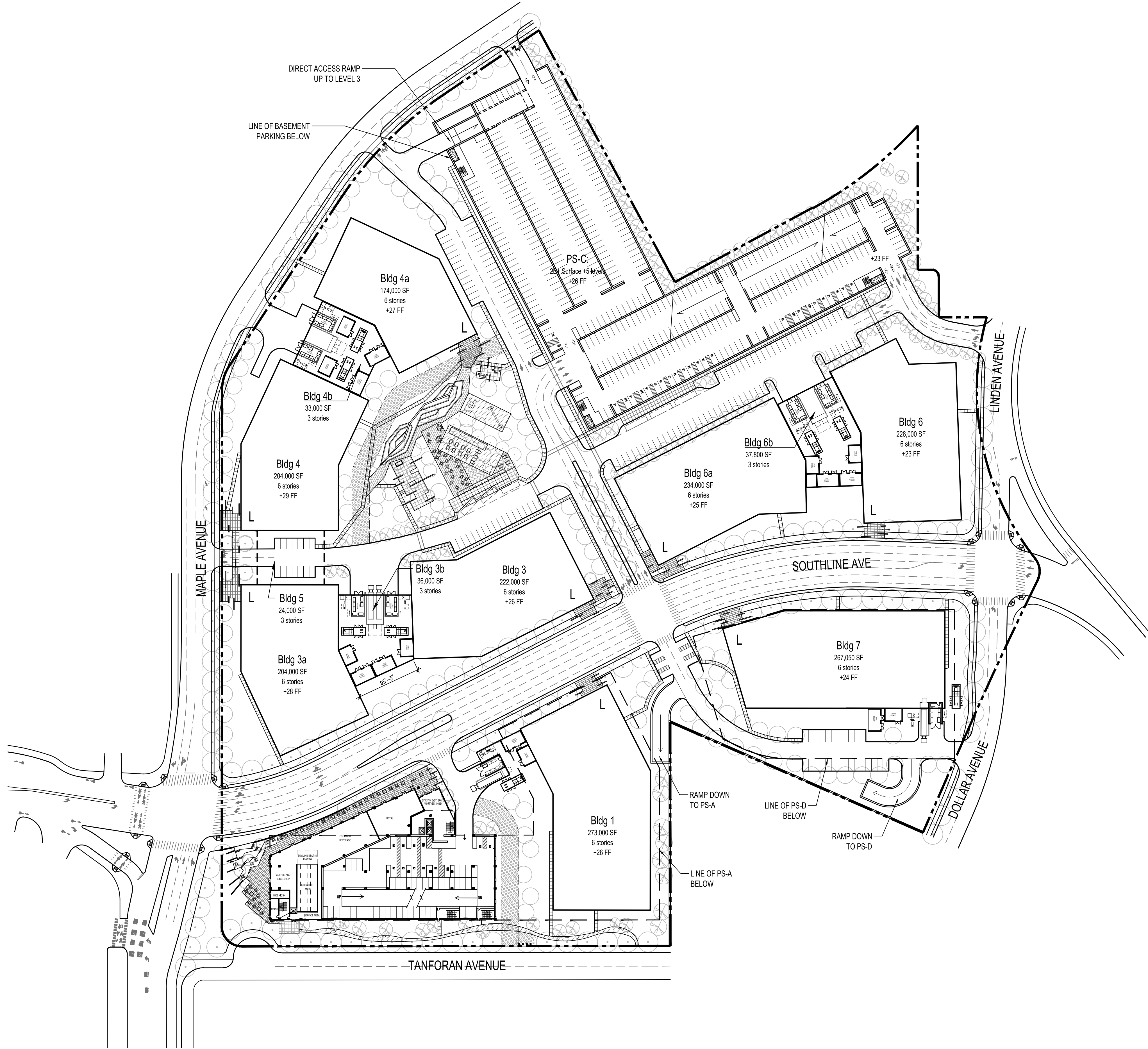
1 Typical wall section A-A
1/8"=1'-0"



2 Typical wall section B-B
1/8"=1'-0"



3 Typical wall section C-C
1/8"=1'-0"



LIFE SCIENCE OPTION - PROJECT DATA

- A. ZONING DESIGNATION BUSINESS AND PROFESSIONAL OFFICES (BPO)
- B. PARCEL NO. MULTIPLE PARCELS: SEE SHEET A2.1 - BOUNDARY LINE SITE PLAN.
- C. SITE AREA 1,157,800 SQFT (26.5 ACRES)
- D. PROPOSED USE LIFE SCIENCE / RETAIL/ FITNESS/ EVENT SPACE
- E. PROPOSED FAR 1.75

| F. <u>BUILDING AREA</u> | | <u>NO. OF STORIES</u> | <u>GROSS BUILDING AREA</u> |
|------------------------------------|---|-----------------------|----------------------------|
| BUILDING 1: | 6 | 273,000 SF | |
| BUILDING 3: | 6 | 222,000 SF | |
| BUILDING 3a: | 6 | 204,000 SF | |
| BUILDING 3b: | 3 | 36,000 SF | |
| BUILDING 4: | 6 | 204,000 SF | |
| BUILDING 4a: | 6 | 174,000 SF | |
| BUILDING 4b: | 3 | 33,000 SF | |
| BUILDING 5: | 3 | 24,000 SF | |
| BUILDING 6: | 6 | 234,000 SF | |
| BUILDING 6a: | 6 | 228,000 SF | |
| BUILDING 6b: | 3 | 37,800 SF | |
| BUILDING 7: | 6 | 267,000 SF | |
| <u>LIFE SCIENCE BUILDING TOTAL</u> | | <u>1,936,850 SF</u> | |
| | | | |
| BUILDING 2 | | | |
| RETAIL | 1 | 16,400 SF | |
| FITNESS/EVENT: | 2 | 71,800 SF | |
| <u>AMENITIES BUILDING TOTAL</u> | | <u>88,200 SF</u> | |
| | | | |
| <u>TOTAL BUILDING AREA</u> | | <u>2,025,050 SF</u> | |

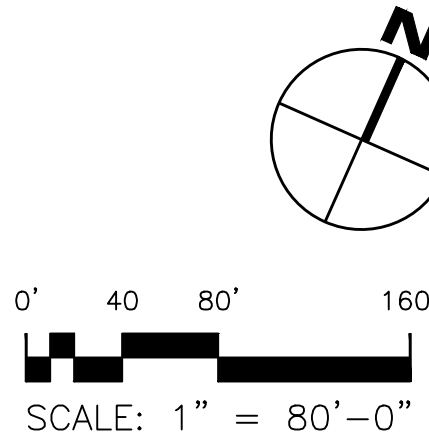
| | |
|---------------------------|------------|
| G. <u>LOT COVERAGE</u> | 0.46 |
| | |
| <u>BUILDING FOOTPRINT</u> | |
| BUILDING 1: | 45,750 SF |
| BUILDING 2/PS-A: | 49,575 SF |
| BUILDING 3: | 37,170 SF |
| BUILDING 3a: | 34,150 SF |
| BUILDING 3b: | 12,580 SF |
| BUILDING 4: | 34,150 SF |
| BUILDING 4a: | 29,190 SF |
| BUILDING 4b: | 11,000 SF |
| BUILDING 5: | - |
| BUILDING 6: | 38,120 SF |
| BUILDING 6a: | 39,300 SF |
| BUILDING 6b: | 13,460 SF |
| BUILDING 7: | 44,640 SF |
| PS-C: | 142,860 SF |
| TOTAL: | 531,765 SF |

- H. BUILDING HEIGHT
- BUILDINGS 1-7: 113'-0", TO TOP OF MECHANICAL ROOF SCREEN (6 STORIES)
(FIRST FLOOR - 18'-0", TYPICAL FLOORS - 16'-0" , PENTHOUSE - 15'-0")
- BUILDING 3B, 4B, 5, 6B: 52'-0", TO TOP OF PARAPET, STARTING AT 34'-0" ABOVE GROUND (3 STORIES)
(TYPICAL FLOORS - 16'-0" + PARAPET)
- BUILDING 2 (AMENITIES): 60'-0", TO TOP OF PARAPET (4 STORIES + 2 LEVEL BASEMENT)
- PARKING STRUCTURE C: 67'-0", TO TOP OF ELEVATOR TOWER (6 STORIES + 2 LEVEL BASEMENT)

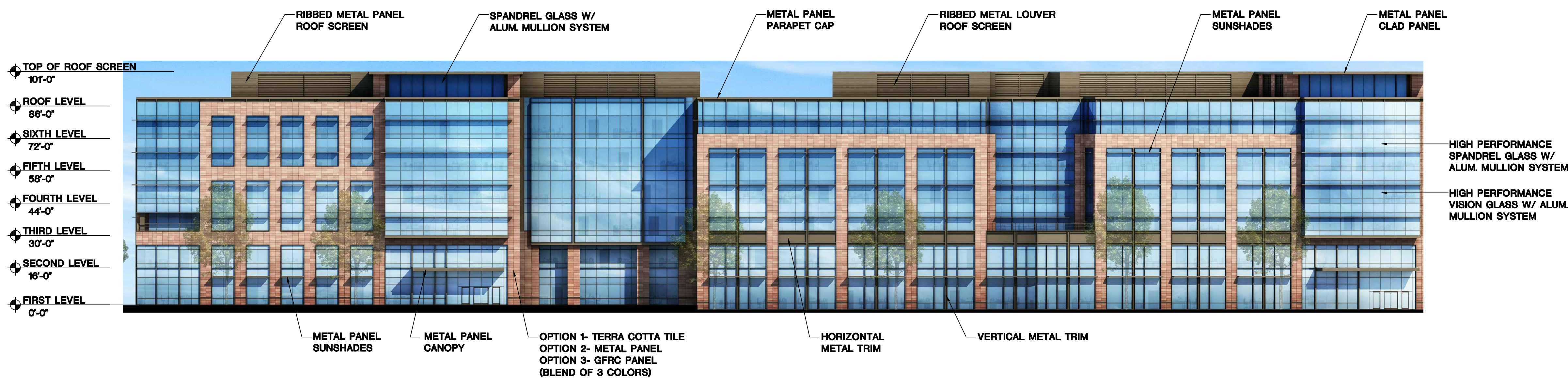
- I. PARKING RATIO PROVIDED
- | | | |
|-------------------------|--------------|--------------|
| LIFE SCIENCE: | 1,936,850 SF | 4,242 STALLS |
| (2.19 STALLS / 1000 SF) | | |
| RETAIL: | 16,400 SF | 55 STALLS |
| (3.3 STALLS / 1000 SF) | | |
| TOTAL: | | 4,297 STALLS |
- (EVENT AND FITNESS SPACE IS INTENDED FOR TENANT USE ONLY THEREFORE NO ADDITIONAL PARKING PROVIDED)

- J. PARKING PROVIDED
- | | | |
|---------------------|------------|--------------|
| PARKING STRUCTURE A | (2B, S+1): | 590 STALLS |
| PARKING STRUCTURE C | (2B, S+5): | 3,271 STALLS |
| PARKING STRUCTURE D | (2B): | 336 STALLS |
| SURFACE PARKING | | 100 STALLS |
| TOTAL: | | 4,297 STALLS |

| | | |
|---------------------------------|----------------|--------------|
| <u>PARKING STALL DIMENSIONS</u> | | |
| STANDARD PARKING: | 8'-6" X 18'-0" | 4,233 STALLS |
| ADA PARKING: | 9'-0" X 18'-0" | 64 STALLS |

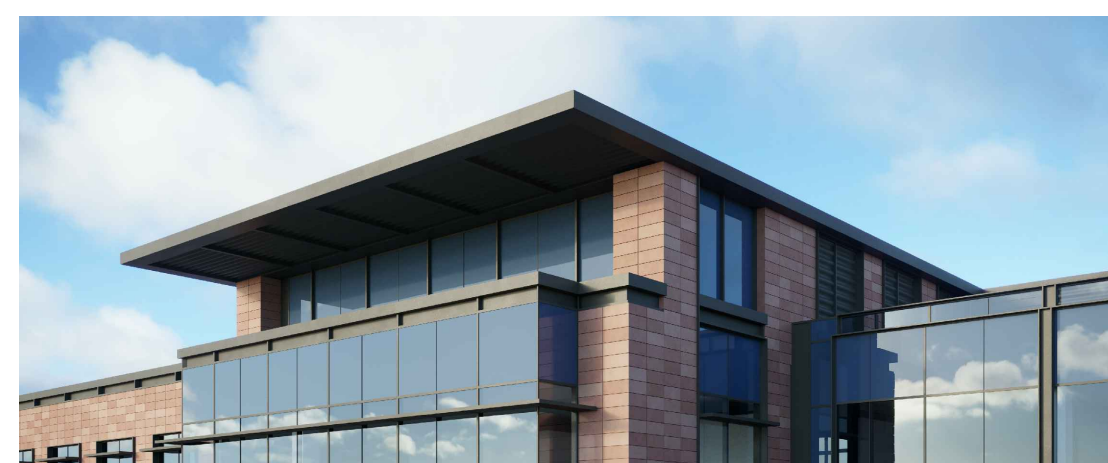


BUILDING FACADE



ROOF ARTICULATION

- Mechanical penthouses and roof equipment screening should have a unified aesthetic language throughout the campus. They should be visually appealing and well-integrated into the building architecture.

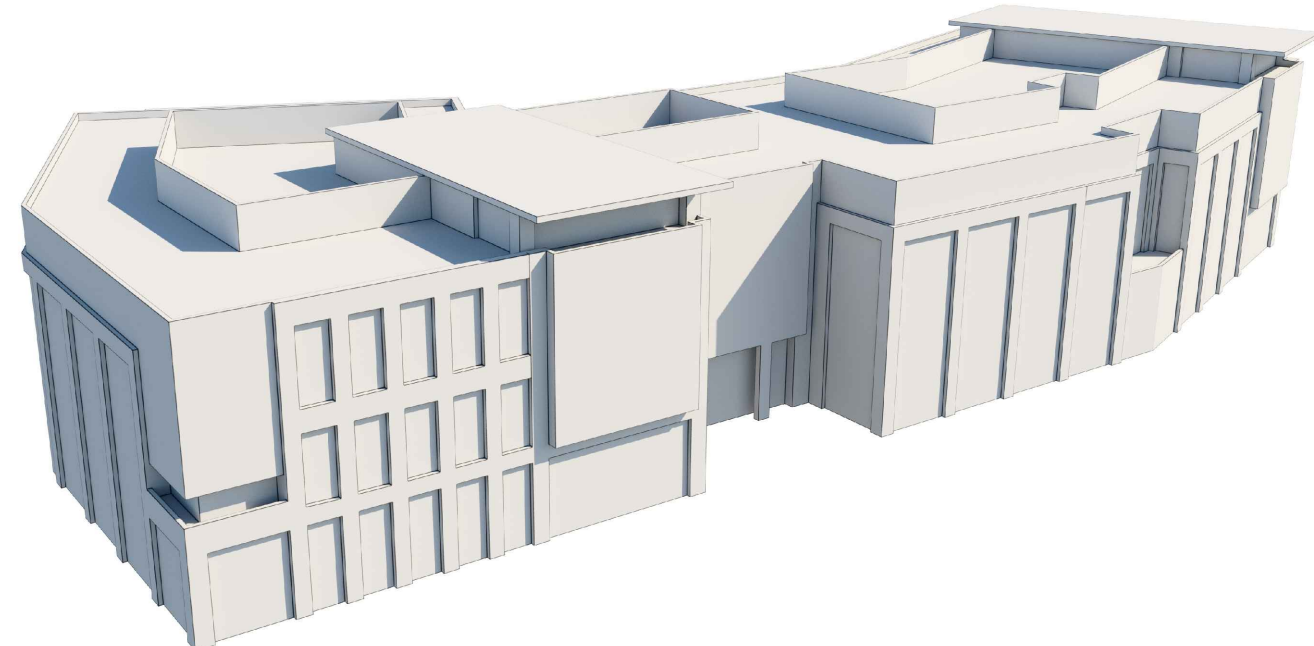


MATERIALS & COLORS

- Exterior material cladding should be of high quality, elegant and sturdy.
- Exterior materials and finishes should be consistent throughout the campus.
- Building cladding and glazing colors may differ to create variety and identity.
- Major materials are as follows:
 - Terra Cotta tile, metal panel or GFRC (Glass Fiber Reinforced Concrete)
 - High Performance Glazing (Vision and Spandrel) w/ aluminum mullion system.
 - Metal panel and metal profiles for canopies, accent spandrel, accent trims, sunshades, parapet caps and accent screens.
 - Ribbed metal panel and louvers for roof screening.

FORM & MASSING

- Building massing should have a simple volumetric geometry that exhibits sculptural quality.
- Overall building mass should be broken up via stepping, indentations, bending and carving out negative spaces to promote sensitivity to scale, bulk and proportion.
- Building forms should have differences in volumes, heights and shapes to create architectural variety.
- Building forms should incorporate a pronounced building entry expression and some architectural elements such as wall offsets, bay windows and terraces to create visual cues and interest.
- Building corners should be articulated via inclusion of terraces and variety of skin treatment.
- Roof penthouses and mechanical screening should engage visually with the rest of the building form.



BUILDING FACADE

- Building skin aesthetics should have a variety of exterior wall and fenestration expression – glazed window walls, punch window openings with metal surround, pilaster aesthetics, articulated mullions and variation of mullion patterns, metal spandrel and expressed metal profiles, parapet caps etc. These treatments should evoke an "Industrial Modern" aesthetics that is sensitive and well suited to the surrounding architectural vernacular.
- There should be a clear design distinction between the building body (middle and base) and it's top. The building top should have a predominantly glass aesthetics with a simple metal parapet cap which will appear aesthetically lighter. The building body which is composed of the building base and building middle will have a subtle difference in aesthetics to preserve a simple modern look. The two-story building base aesthetics will be highlighted via addition of slight articulation on the mullion design, and addition of horizontal metal awnings particularly on facades with walkways along side it to provide sensitivity to pedestrian scale.



BUILDING ENTRY

- Building entries should be located so they have prominence, visibility and easy access from campus driveways or common areas.
- Building entries should be expressed to have a simple yet grand gesture. They should possess an architectural statement that is different from the rest of the building aesthetics to enhance its importance, way finding of the "front door", heighten aesthetic appeal and arrival experience.
- Entry canopies should be designed to provide weather protection. Its design should be well integrated into the building architecture and not appear to be a tack on element.
- Use a more transparent glazing on areas around entry doors to enhance visual connectivity from outside to inside and promote a welcoming character.



SIGNAGE

- A unified sign program should be prepared for the entire development.
- Names of buildings should be comprised of individual letters.
- All signages including monument signs and directional signs should conform to city standards.
- Illuminated signs should not create glare.
- Design of all directional and informational signages should be compatible with the building design style and consistent throughout the campus.

LIGHTING

- Exterior building lights should be incorporated into the overall campus design and site lighting.
- Building entry and security light fixtures selection should be compatible with the overall campus architecture and its placement must be coordinate with building elements.

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PARKING STRUCTURE

FORM & MASSING

- Parking structure massing should have a simple and straight forward volumetric geometry.
- Stairs and elevator towers should have a distinctive mass that is different but complimentary to the overall building form.
- Parking structure massing should incorporate a pronounced entry form expression for pedestrians and/or vehicles.
- Building corners whenever possible should have a special gesture like notching, stepping or integrating architectural elements like stairs or elevator towers to enhance the overall building form.

FACADE

- The parking structure skin aesthetics should focus on simple lines and fenestration expressions. Its design character should be compatible with that of the office buildings and its design elements should evoke an "Industrial Modern" aesthetics that is suited to its surrounding architectural vernacular.
- Stairs and elevator towers should have a skin design aesthetics that is more articulated and refined. They should appear as accent elements to the simple design of the crash walls or rails that surround most of the structure.
- The exterior appearance of crash walls and rails should look simple but elegant and interesting.
- Crash walls or rails for the topmost parking tier should have a slight design variation from that of the lower tiers to create aesthetic interest in the façade treatment and help with visual proportion and scale.
- Ground floor openings between pilasters whenever required for security and /or safety should have some form of full or partial screening that is visually interesting and compatible to the overall building aesthetics.
- Mechanical or electrical equipment walls or screening should be visually interesting and compatible to the rest of screening on the structure.

VEHICULAR AND PEDESTRIAN ENTRIES

- Entries should be located that they have prominence, visibility and easy access from campus driveways or common areas. Both vehicular and pedestrian access should be designed with safety in mind.
- Pedestrian entries should be expressed to have a simple yet grand gesture. They should possess an architectural statement that is different from the rest of the building aesthetics to enhance its importance, way finding of the “front door” , heighten aesthetic appeal and arrival experience.
- Entry canopies should be designed to provide weather protection. Its design should be well integrated into the building architecture and not appear to be a tack on element
- Use a more transparent glazing on areas around entry doors to enhance visual connectivity from outside to inside and promote a welcoming character.
- Vehicular entries should be articulated with visual architectural identifiers for ease of way finding.

MATERIALS & COLORS

- Exterior material cladding should be of high quality, elegant and sturdy.
- Exterior materials and finishes should be consistent throughout the campus.
- Cladding and glazing colors may differ to create variety and identity.
- Major materials are as follows:
 - Painted structural concrete column/pilasters, crash walls, beams and underside of slabs.
 - GFRG (Glass Fiber Reinforced Concrete) Metal Panels or Terra Cotta tile accent clad.
 - High Performance Glazing (Vision and Spandrel) w/aluminum mullion system.
 - Metal panel and metal profiles for canopies and accent trims.
 - Perforated, special pattern metal, ribbed and metal green screen.
 - Metal rails or cables.

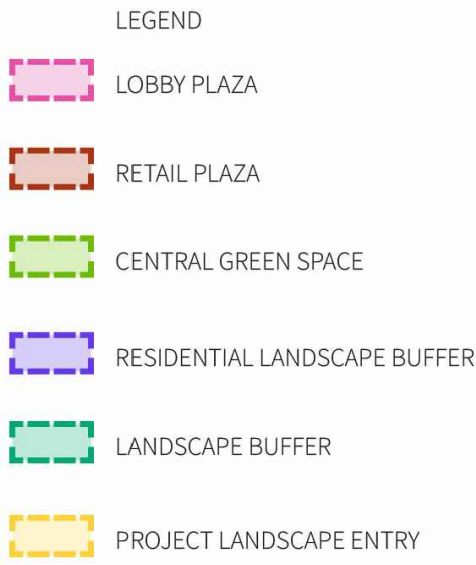
SIGNAGE

- A unified sign program should be prepared for the entire development.
- Names of buildings should be comprised of individual letters.
- All signages including monument signs and directional signs should conform to city standards
- Illuminated signs should not create glare.
- Design of all directional and informational signages should be compatible with the building design style and consistent throughout the campus.

LIGHTING

- Exterior building lights should be incorporated into the overall campus and landscape design.
- Building entry and security light fixtures selection should be compatible with the overall campus architecture and its placement must be coordinate with building elements.

LANDSCAPE DESIGN



LOBBY PLAZAS

- Lobby Plazas are to face the street and public right of way and provide a seamless entry sequence into the building.
- Plazas are to be in scale with the Building Lobby and provide campus wayfinding identifying the entries.
- When space and program allows, Entry Plazas are to have:
 - Seating Areas.
 - Planting to soften facades and accent entry into the Buildings.
 - Unique materials providing interest and sense of place.

PERIMETER LANDSCAPE BUFFERS

INCLUDING PROJECT ENTRIES

- Landscape buffers are to be used to screen and soften the edge of the site as the land use changes into residential.
- Planting solutions are to be a combination of native and/or adaptive trees (both deciduous and evergreen depending on exposure and height of Buildings) and layered ground plane plant material of site/ microclimate appropriate shrubs, ornamental grasses and groundcovers.
- These buffers will include C3 Stormwater Treatment areas, so plant is to be native and/ or adaptive, be drought tolerant and also handle periods of inundation.
- Planting solutions as the ground plane transitions from Treatment Areas into general planting is to be seamless.
- Project Entry Landscape is to provide a harmonious entry sequence while accenting the overall project and complimenting signage and lighting for a cohesive experience.

LANDSCAPE CONCEPT

- Overarching Open Space concept is to create and promote useful, safe, sustainable and unique outdoor amenities which promote a sense of community and integrate into the adjacent neighborhood.
- Useful spaces are those which have a purpose, whether it is an outdoor amenities space, a building entry or sustainable plant material which work within the bioretention areas.
- Safe landscapes are those which are open, transparent and promote pedestrian and bicycle usability above the car.
- Sustainable spaces and places are those which use hardscape and plant materials which are rich in color, variation and texture but are local when feasible and native and/ or adaptive when possible.
- Creating a sense of place is key to the success of the open space program, where a balance is found between integrating interesting materials/ program and integrating into the existing urban fabric.

CENTRAL GREEN SPACES

- When site conditions allow for large common spaces, the focus is on creating a sense of community through the use of sense of place coupled with program appropriate for the site.
- Examples of program elements appropriate for spaces of this size include not are not limited to:
 - Flexible Spaces.
 - Open Turf Areas (for active use, not simply for aesthetics).
 - Patio Furniture.
 - Seating Areas.
 - Dining Areas such as cafe patios and also larger program elements such Beer Gardens, Outdoor BBQ Areas when space allows.
 - Shade Structures.
 - Bocce, Cornhole and other such passive games.
 - Spaces for Food Trucks.
 - Shuttle Stops when requested by End User.

RETAIL PLAZAS

- When site program calls for Retail Plazas, plazas to incorporate:
 - Patio Furniture.
 - Seating Areas.
 - Dining Areas such as cafe patios.
 - Planting to soften facades and accent entries.
 - Unique materials providing interest and sense of place.

RESIDENTIAL LANDSCAPE BUFFER

- When the site is adjacent to residential neighborhoods and when space permits, the community orientated spaces are to provide:
 - A buffer between this development and adjacent residential neighborhoods
 - Planting to soften and engage the users with local and adaptive plant material, in addition to provide habitat for beneficial birds and insects.
 - Unique materials providing interest and sense of place consistent with adjacent materials.

SITE SIGNAGE

- A unified site sign program should be prepared for the entire development and be consistent with Building Signage.
- All signage including monument signs and directional signs should conform to city standards.
- Illuminated signs should not create glare.
- Design of all monumental, directional and wayfinding signage should be compatible with the building design, landscape design and consistent throughout the campus.
 - Monument Signs in particular need to be scaled to adjacent plant material and building architecture providing desired campus wayfinding

SITE LIGHTING

- Exterior building lights should be incorporated into the overall campus and landscape design.
- Building entry and security light fixtures selection should be compatible with the overall campus architecture and landscape architecture and its placement must be coordinate with building and other site elements for a cohesive design.